

Roofing Pilot Project Contractor Selection Resolution Worksheet

Date: March 19, 2025

Suggested Motion:

“I move to approve _____ as the designated contractor to undertake the roof replacement for Buildings #849 and #953 as part of the roofing pilot project.”

2nd:

Vote:

	In Favor	Opposed	Abstained	Absent
Scott Buchanan				
Dave Bush				
Caitlin Counihan				
Elaine Lawler				
Jeff Lisanick				
Scott Mulrooney				
Mike Rothenberg				
Jim Wicker				

SECTION 01 10 00 – SUMMARY OF WORK

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Work covered by Contract Documents.
2. Contractor's use of site and premises.
3. Contractor's Coordination Requirements
4. Coordination with occupants.
5. Work restrictions.

1.2 WORK COVERED BY CONTRACT DOCUMENTS

A. Base Scope of Work:

1. The work of this contract involves the removal of existing and replacement with new specified materials all roof coverings, flashings, vent stack collars, and a per square foot unit cost estimate of sheathing on all roofs. This is being performed as a pilot project prior to commencing a larger property-wide roof replacement program.

Work shall be performed at two identified addresses: Building 849 (3223 Martha Curtis Drive) and Building 953 (1500 Mount Eagle Place).

2. Include all Work listed in these Specifications and incidentals thereto. All phases of the Work shall be executed by skilled craftsmen experienced in their respective trades. For the Ludowici terra cotta building (953), all roofers (mechanics) working on the project must complete the Ludowici Factory Installation Training (FIT) course in New Lexington, OH or Dallas, TX prior to working on any Parkfairfax roofs.
3. Any dimensions provided in this specification and on field drawings shall be field verified by the Contractor including slab thickness, areas, patch dimensions, number of parking spaces, etc. Questions regarding any dimensions shall be directed to the Engineer and clarified before Contractor submits a bid.

- B. Review work areas for access requirements. Contractor shall remove, store on site or relocate roof mounted items such as downspouts, and power sources in the vicinity of the Work as

needed to comply with OSHA requirements and maintain their work schedule. Contractor shall reset these items to their original configuration and operating order upon completion of the work. Access to all roof locations shall be from the exterior of the building. Contractor is responsible for and will coordinate and schedule with any public utility providers as needed to meet the needs described herein.

- C. The Contractor shall provide the necessary supervision, project management, labor, equipment, material and supplies required for the demolition & removal of existing roof materials, installation of new roof materials, and proper disposal and clean-up of work-related debris. The contractor shall also provide portable toilets, generators & dumpsters/trash removal for each building. Such work shall be accomplished as follows:
1. Install scaffolding around the perimeter of both buildings, including overhead protection above all entry doors to residential units.
 2. Remove and dispose of all existing roof coverings, underlayment, flashing systems, pipe penetration boot flashings, deteriorated sheathing as identified jointly with Parkfairfax staff, flashing at transitions in height between building sections, etc. on all roofs.
 3. Inspect condition of existing T&G decking slats jointly with Parkfairfax staff and mark roof deck slats to be replaced. The Base Bid shall include a per square foot unit cost estimate to replace sheathing using either 1x pine, ¾" OSB or ¾" ply.
 4. Remove, reset, and re-flash existing plumbing vent stacks with 26-gauge copper vent stack collars. Wrap cast iron vent stack penetrations with ice and water shield before installing copper collars in order to prevent galvanic action. Bldg 849 has 4 vent stacks, 3 of which have already been replaced w/ copper collars that can be reused; 1 new vent stack collar should be included in your bid. Bldg. 953 has 5 vent stacks, all of which are original and need to be replaced.
 5. Install new specified roofing materials including, but not limited to, the items listed below:
 - a. Install new white aluminum drip edge w/ aluminum roofing nails.
 - b. Install new ice & water shield on all eaves, valleys, and rising walls, extending 3' from edge of roof to meet local code requirements.
 - c. Apply new synthetic felt underlayment, recommended by the roof tile manufacturer, to the roof deck.
 - d. Install new copper vent stack collars on all plumbing stacks or reinstall if already replaced. (See C4 above.)
 - e. Install new 26-gauge copper step, edge, eave, rake, etc. flashings where such flashing exists and/or are required by code. All flashing shall be properly caulked with approved sealant. Caulk terminations.
 - f. Install new saddle and step copper flashings and crickets associated with flue, chimney, and similar penetrations per manufacturer requirements.
 6. On building 849, install new **Brava** composite flat tiles, in accordance with manufacturer's specifications and details, industry standards, ARMA, SMACNA, and NRCA installation details. Four (4) 1 ¾" stainless steel ring shank nails must be used to fasten each tile.

- a. Color-matched flat tile preselected by owner in coordination with **Brava**.
 - b. Schedule manufacturer's representative to inspect mock-up installation and initial stages of installation. The manufacturer's representative shall provide a letter documenting the visit, observations, and recommendations made.
7. On building 953, install new **Ludowici** Americana 16" interlocking terra cotta tiles, in accordance with manufacturer's specifications and details, industry standards, ARMA, SMACNA, and NRCA installation details. Two (2) 1 3/4" stainless steel or copper ring shank nails must be used to fasten each tile.
- a. Color and texture preselected by owner in coordination with **Ludowici**; Color: Forest Green glaze. Texture: lightly pressed bark.
 - b. Schedule manufacturer's representative to inspect mock-up installation and initial stages of installation. The manufacturer's representative shall provide a letter documenting the visit, observations, and recommendations made.
8. If necessary to prevent damage during demolition, remove and reset existing gutters and downspouts as needed to facilitate roofing replacement. Remove debris from gutters, seat all gutter screws to ensure gutters are tight to the fascia boards. Flush all gutters and downspouts and ensure that same are running freely. Reposition gutters and add supports as needed to eliminate sags and assure proper flow to drain. Install new gutters and downspouts on a lineal foot basis to replace deficient and/or missing sections as directed by Parkfairfax staff.

D. Options:

1. Option 1: On building 953, remove and dispose of all wood fascia, rake, trim, eaves, louvers and wood trim around existing cupola. Replace with new white cellular PVC to match existing size, profile and general appearance. Fill all nail holes with white exterior grade 100% silicone. Cupola existing roof cap to be replaced with 26-gauge copper.

1.3 CONTRACTOR'S USE OF SITE AND PREMISES

- A. Contractor shall have limited use of project site for construction operations by the Contract limits and as indicated by requirements of this Section. Contractor shall provide Owner a site logistics plan showing material storage areas, scaffolding limits, delivery areas, and equipment set-up areas.
- B. Limits on Use of Site: Limit use of Project site to Work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - a. Schedule deliveries to minimize use of roads and parking spaces by construction operations.
- C. Condition of Existing Building: Maintain portions of existing building affected by

construction operations in a weathertight condition throughout construction period.
Repair damage caused by construction operations, including to grass & landscaping that surround each building.

- D. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

1.4 CONTRACTOR'S COORDINATION REQUIREMENTS

- A. Contractor shall review and coordinate work access requirements for all work areas.
- B. Contractor shall ensure the protection of underground utilities in the vicinity of the Work. Contractor shall coordinate the procurement of Permits and Approvals required by the City of Alexandria necessary to complete the Work, including but not limited to the Building Permit, permit for the placement of dumpsters on City of Alexandria owned streets, and other tests and inspections.
- C. Contractor shall coordinate and provide all work area safety measures necessary to protect the public and as required by the local jurisdiction. Such safety measures include, but are not limited to, the following:
 - 1. Contractor shall provide complete overhead protection to each residential unit main entry door as needed below elevated work areas. Divert pedestrian traffic away from work areas using signage and physical barriers.
 - 2. Protect (as necessary) existing electrical, mechanical, and plumbing systems and related components from the Work. This may include covering, shoring, bracing, temporary removal/resetting, and relocating.
 - 3. Clean all areas affected by the Work including trees, shrubs, landscaping, sidewalks, parking lots, walking paths, low roofs, entryways, etc. of all work-related nails, dust and debris. Remove and dispose of all scaffolding, formwork, by-products, and debris associated with the Work. Remove all equipment from the site. Store extra material purchased by the Owner at the Maintenance Yard. Otherwise, dispose of all excess material.
- D. Contractor shall make the Owner aware of any trees, shrubs, landscaping and/or other existing features that need to be trimmed or removed to allow for access to the work area prior to the start of work.
 - 1. The Owner will pay for and complete this work prior to mobilization to the work areas in question.
- E. The Contractor shall reasonably protect existing trees, shrubs, landscaping, patios and other existing features from the Work. The contractor shall coordinate with the Parkfairfax Director of Operations for the installation of Parkfairfax owned rubber mats to be used as ground cover to protect the grass from heavy equipment.

1. The contractor will not be held responsible for unavoidable damage to patios, trees, shrubs, and landscaping within 4' of the wall surfaces where work was performed.
2. Grass that is damaged or disturbed by the Work shall be restored. Contractor shall hand rake to restore finished grade, cover with 1"-2" of topsoil, seed, and straw- cover. Watering and maintenance following seed and straw procedures is the responsibility of the Owner.

1.5 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner will occupy Project site and existing building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.
 1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities.
 2. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.

1.6 WORK RESTRICTIONS

- A. Comply with restrictions on construction operations.
 1. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of the City of Alexandria, including the placement of dumpsters on City owned streets.
 2. On-Site Work Hours: Limit work to between 7am to 6pm, Monday through Friday, unless otherwise indicated.
 3. Weekend Hours: Saturday only, 9am to 6pm. No work on Sundays or federal holidays.
 4. Hours for Utility Shutdowns: As coordinated with and approved by Owner.
- B. On-Site Work Day Restrictions: Do not perform work resulting in utility shutdowns or resulting in noisy activity on-site during work black-out days as directed by the Owner
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging for temporary utility services according to requirements indicated:
 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.

1. Notify Owner not less than two days in advance of proposed disruptive operations.
 2. Obtain Owner's permission before proceeding with disruptive operations.
- E. Smoking and Controlled Substance Restrictions: Use of tobacco products, alcoholic beverages, and other controlled substances on Owner's property is not permitted.

END OF SECTION 01 10 00

Parkfairfax Condominium

UNIT OWNERS ASSOCIATION

3360 GUNSTON ROAD • ALEXANDRIA, VIRGINIA 22302-2198

TELEPHONE (703) 998-6315 FAX (703) 998-8764

ADDENDUM

TO: All bidders on the Parkfairfax Roofing Pilot Project
FROM: Scott Mulrooney, President/CEO Parkfairfax Condominium UOA
DATE: March 3, 2025
SUBJECT: Instructions & Modifications

Reminder, bids are due this Friday, March 7th, by 5pm. In your estimates, please consider the following additional instructions & modifications:

1. Please include a copy of your valid Virginia business license & Certificate of Insurance (COI) with your bids.
2. Please include any marketing literature that demonstrates your company's expertise with both terracotta roofing and synthetic roofing, if any.
3. Please address all bids to Francisco Foschi, General Manager (ffoschi@parkfairfax.org), and copy Lolita Clark, Management Assistant (lclark@parkfairfax.org).
4. Please submit a construction schedule (critical path) for each building.
5. On page 2 of the summary of work/specifications, C. 5. a., white aluminum drip edge is speced. Please include in your estimates an add alternate to use copper drip edge installed with copper nails in lieu of aluminum. List the add alternate on a per building basis.
6. In your quotes, please separate out the scaffolding cost as an add alternate. List it on a per building basis. If you would like to propose an alternative to using scaffolding, please submit a plan on how you will protect the residents, gardens & patios of each building both during demolition and construction.
7. Parkfairfax has a contract with Reclaimed Roofs Inc. in Greenville, DE, to sell them any existing roof tiles that are not damaged. This has a direct impact on your work both demoing the existing roofs plus on your pricing for dumpsters and dumping fees at the landfill. Any whole tiles – including field tile, under eave, end band, gable rake, hip & ridge - that are removed from the existing roofs, should be carefully stacked up on the ground near the parking areas where Reclaimed Roofs will come to collect them. Any broken tiles can be thrown in the dumpster. Please take this into consideration when you do your estimates. We understand that inevitably some tiles will break in the process of demolition.

BID ANALYSIS
Parkfairfax Roofing Pilot Project
7-Mar-25

Building 849 - Brava (44 sq, 50 yr warranty)

Company	Demolition & Roofing	Copper Drip Edge	Scaffolding	Cupola	Total	Cost / Square	Annual Cost	1x T&G decking	Experience w/ synthetic	Critical Path
Absolute Roofing	\$ 56,898.00	\$ 4,198.50	\$ 8,250.00	None	\$ 69,346.50	\$ 1,576	\$ 1,387	\$8/LF	Yes	16 days
Prime Roofing & Exteriors	\$ 68,370.00	\$ 5,064.00	\$ 8,000.00	None	\$ 81,434.00	\$ 1,851	\$ 1,629	\$8/LF	Yes	13 days
Katchmark Construction	\$ 87,048.00	\$ 4,836.00	\$ 8,700.00	None	\$ 100,584.00	\$ 2,286	\$ 2,012	\$18/LF	Yes	15 days
Ruff Roofers	\$ 92,860.00	\$ 2,808.00	\$ 17,500.00	None	\$ 113,168.00	\$ 2,572	\$ 2,263	\$12/LF	Yes	18 days
G&A General Contractors	\$ 116,658.19	\$ 1,443.81	\$ 16,450.00	None	\$ 134,552.00	\$ 3,058	\$ 2,691	\$8.50/LF	Yes	30 days
Maggio Roofing	\$ 189,665.00	\$ 8,031.00	\$ 16,450.00	None	\$ 214,146.00	\$ 4,867	\$ 4,283	\$30/LF	Yes	10 days

Building 953 - Ludowici (46 sq, 75 yr warranty, 100 yr useful life)

Company	Demolition & Roofing	Copper Drip Edge	Scaffolding	Cupola	Total	Cost / Square	Annual Cost	1x T&G decking	Experience w/ terracotta	Critical Path
Absolute Roofing	\$ 83,076.00	\$ 4,571.70	\$ 8,250.00	Included	\$ 95,897.70	\$ 2,085	\$ 959	\$8/LF	Yes	18 days
Prime Roofing & Exteriors	\$ 84,770.00	\$ 5,064.00	\$ 8,000.00	Included	\$ 97,834.00	\$ 2,127	\$ 978	\$8/LF	Yes	17 days
Katchmark Construction	\$ 128,560.00	\$ 5,052.00	\$ 9,800.00	\$ 3,000.00	\$ 146,412.00	\$ 3,183	\$ 1,464	\$18/LF	Yes	35 days
G&A General Contractors	\$ 140,230.51	\$ 1,495.49	\$ 16,450.00	Included	\$ 158,176.00	\$ 3,439	\$ 1,582	\$8.50/LF	No	30 days
Ruff Roofers	\$ 168,689.00	\$ 2,808.00	\$ 45,910.00	\$ 15,125.00	\$ 232,532.00	\$ 5,055	\$ 2,325	\$12/LF	Yes	24 days
Maggio Roofing	\$ 211,908.00	\$ 10,145.00	\$ 17,305.00	Included	\$ 239,358.00	\$ 5,203	\$ 2,394	\$30/LF	Yes	15 days

Notes:

1. If scaffolding the entire perimeter of both buildings, add \$46,000/building for Prime Roofing & Exteriors.
2. If scaffolding the entire perimeter of both buildings, add \$45,910/building for Ruff Roofers.
3. If scaffolding the entire perimeter of both buildings, add \$39,850/building for G&A General Contractors.

Absolute Roofing
12050 South Lakes Dr
Reston, VA 20191

ATTN: Francisco Foshi and Lolita Clark
Parkfairfax Condominium
3360 Gunston Rd
Alexandria VA, 22302

Re: Roofing Bid Proposal for Parkfairfax Roofing Pilot



1. Introduction & Executive Summary

- **Brief Introduction:** Absolute Roofing will be bidding on Parkfairfax Roofing Pilot. Our knowledge and experience of working with premium grade roofing materials and the most high-end properties in the greater mid-Atlantic region, coupled with our tremendous experience in installing thousands of squares of Brava synthetic roofing tile, leads us to believe that we are the right choice for this important project.

While Absolute Roofing may not have the longstanding history of some competitors, our proven results and expertise in specialty roofing make us a strong contender for the Parkfairfax Condominium reroof project. We currently install more Brava Tile than any other individual roofing company in the Mid-Atlantic region and are the only contractor in the DC Metropolitan area authorized to offer Brava's most comprehensive Endurance Limited Lifetime Warranty.

- **Summary of the project, including the type of roofing system proposed:** To summarize, absolute roofing will be removing Ludowici tile from Building 849, located at 3223 Martha Custis Drive and installing new Brava composite flat tile. Absolute roofing will also be removing Ludowici tile from building 953 located at 1500 Mount Eagle Place and installing Ludowici Americana terra cotta tiles.

3. Scope of Work

Work to Be Performed

1. The scope of work outlined in this proposal will occur at two separate buildings, as a part of the pilot program, prior to commencing a larger property-wide roof replacement.
2. The two addresses include:
 - a. Building 849, located at 3223 Martha Custis Drive (*completed in the new Brava composite flat tiles*)
 - b. Building 953, located at 1500 Mount Eagle Place (*completed in Ludowici Americana terra cotta tiles*)
3. Absolute Roofing will furnish comprehensive project supervision, management, and skilled labor necessary for the removal of the existing roofing system and the installation of the new specified roofing materials. Our team will implement all required safety protocols, provide appropriate safety equipment, and ensure strict adherence to industry standards and regulations. Additionally, Absolute Roofing will be responsible for the complete cleanup and proper disposal of all debris generated throughout the project.
4. On both structures, Absolute Roofing will install new roofing materials accordingly:
 - a. Upon removal of the existing tile, an inspection of the existing tongue in groove decking will be inspected in conjunction with Parkfairfax staff. Any rotted decking will be replaced with 1x pine as needed. If any given portion of the decking is excessively damaged, 3/4" ply wood will be used to maintain the current structure.
 - b. Aluminum F8 drip edge; the color will match the trim work on each building to blend seamlessly
 - i. There is an option to substitute copper drip edge in F8, secured with copper nails in lieu of aluminum drip edge; price delta listed in a proceeding section.
 - c. Install new Certainteed Ice and Water barrier at all eaves, valleys, penetrations at least 3' from the warm wall, according to all local and state code requirements.
 - d. Install new synthetic underlayment as specified by both Brava and/or Ludowici.
 - i. Brava will be furnished with Titanium UDL 50
 - ii. Ludowici will be furnished with two layers of 45 lb. felt, as recommended by the manufacturer.
 - e. Install all flashing (step flashing, apron flashing, counter flashing, valley flashing, etc.) in 16 oz. (26 gauge) copper.
 - f. Install appropriate ventilation, as specified by each manufacturer.

- g. Install any necessary crickets, diverters, etc. along any major penetrations, such as chimneys, in accordance with both local and state code.
- 5. **Building 849: Brava Composite Flat Tile**
 - a. Building 849 will be installed with Brava's composite flat tile
 - b. The color, which is a green green and black blend, has been preselected by Parkfairfax and is being made to order by the manufacturer.
 - c. Requirements for this specification include using four 1 ¼" galvanized ring shank nails per application.
 - d. Premade hip and ridge shingles in size medium (which covers a 6/12 - 9/12) will be used at all hips and ridges.
 - e. Premade shims will be used in between each tile to meet the manufacturer spacing requirements of ⅜" - ½" to allow for expansion and contraction.
 - f. Copper W-profile valley metal to be installed in accordance with manufacturer specifications
- 6. **Building 953: Ludowici Americana 16" Interlocking Terra Cotta**
 - a. Building 953 will be installed with Ludowici's Americana 16" interlocking terra cotta
 - b. The color has been preselected by Parkfairfax: Forest Green glaze in "lightly pressed bark texture
 - c. Two 1 ¼" galvanized stainless steel ring shank nails per tile will be used in accordance with manufacturer specifications.
 - d. Manufacturer specified roofing accessories will be installed according to manufacturer specifications.
 - e. Copper W-profile valley metal to be installed in accordance with manufacturer specifications
 - f. Current cupola and all existing wood and flashing to be removed and replaced with cellular PVC to match existing specifications, size, and appearance. Cupola cap to be in 26-ga. copper. Cupola to be built to spec by Valley Forge Cupolas.
- 7. **Project Timeline:**
 - a. All project timelines are dependent upon weather conditions, accurate delivery dates, and accurate project coordination. Absolute Roofing will be solely responsible for ensuring the accuracy of meeting all required project deadlines
 - b. **Building 849:** The roof replacement for Building 849 will be the initial phase of this project and will feature the installation of Brava roofing materials. Currently, material delivery is scheduled for the last week of April. Upon verification of material accuracy and final coordination with Brava, Absolute Roofing anticipates commencing work on Building 849 in early to mid-May. We anticipate the entirety of the project to take between 5-7 days, barring weather conditions.
 - c. **Building 953:** The roof replacement for Building 943 will utilize Ludowici roofing materials. The anticipated material delivery is scheduled for mid-July. Upon verification of material accuracy and final coordination with Ludowici, Absolute Roofing plans to commence work between early July and mid-August. The estimated duration for the reroofing process is approximately 14 to 20 days, depending on site conditions and project variables.
- 8. **Gutters and Trimwork:**
 - a. In order to protect the current gutter system during install, we will remove the current gutter system, store them safely to inhibit denting or warping during the roof installation, and rehang them after completion.
 - b. All gutters and downspouts will be placed in their current layout, and repitched to direct water toward the downspout locations.
 - c. Any new gutters and downspouts will be replaced on a linear foot basis if damage or deficiencies exist.

Safety and Compliance Measures

- 1. Scaffolding will be erected around the perimeter of each structure, providing cover in and around walkways, entrances to the building, and over permanent, fragile structures.
 - a. Scaffolding will extend 8' around the perimeter.
 - b. 6x7 rubber matting will be used around the property to protect concrete and grass in any walking path, and around the structure for tire protection from the Equipters and wheel barrows.
- 2. **Removal of existing roof tile:**
 - a. Because Parkfairfax has contracted with Reclaimed Roofs Inc to retain any existing roof tiles that aren't damaged, its critical to retain the integrity of the existing roof as much as possible.
 - b. All existing roof tile will be removed by hand, and lowered using a specialty roofing conveyor by EZLift Conveyors.
 - c. Two Equiptors will also be used, and raised to the gutter lines to prevent the damage of any and all existing tiles.
 - d. All non damaged roof tile will be stacked on pallets between two and three feet high and shrink wrapped.
 - e. All pallets will be transported to anywhere on the Parkfairfax property, at their discretion.

Pricing & Payment Terms

3. Refer to tables below. All per square pricing includes materials, labor, overhead, and profit.
4. Scaffolding is listed as a separate line item, but scaffolding would be preferred method of protection against falling objects and property protection.
5. Payment Terms are the following:
 - a. 33% of contract amount due at contract signing
 - b. 27% of contract amount due upon material delivery to building site.
 - c. 50% of contract amount due upon substantial completion and inspection of Parkfairfax.

Detailed Cost Breakdown for Building 849, located at 3223 Martha Custis Drive:

Building 849					
	Product Description	Unit	Item Cost	Qty	TOTAL COST
	Brava Roof Tile (labor and material)	Sq.	\$ 1,305.00	43.6	\$ 56,898.00
	Scaffolding	Line Item	\$ 8,250.00	1	\$ 8,250.00
				TOTAL	\$ 65,148.00
	Optional Costs Incurred				
	1x T&G decking	Linear Foot	\$ 8.00		
	Copper Drip Edge, copper nails	10 ft. piece	\$ 93.30	45	\$ 4,198.50
	Gutters and downspouts (5")	Linear Foot	\$ 6.00		
	3/4" CDX Plywood	8' x 4' sheet	\$ 60.00		
				TOTAL COST INCLUDING OPTIONS	\$ 69,346.50
	<i>(less unknown variables i.e. decking, etc)</i>				

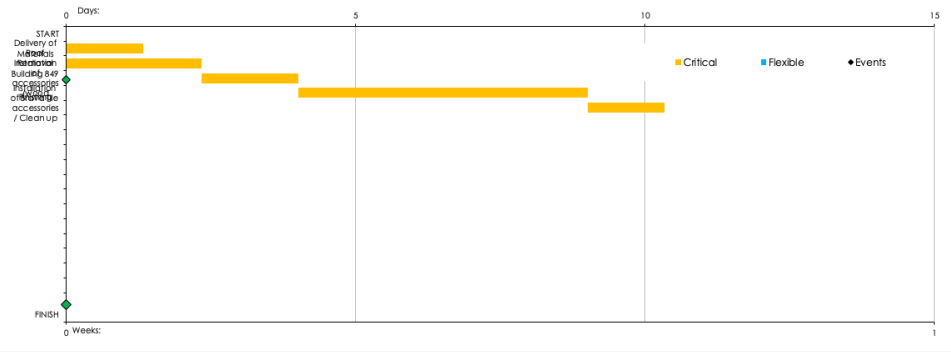
Detailed Cost Breakdown for Building 953, located at 1500 Mount Eagle Place:

Building 953					
	Product Description	Unit	Item Cost	Qty	TOTAL COST
	Ludowici Americana Terra Cotta	Sq.	\$ 1,806.00	46	\$ 83,076.00
	Scaffolding	Line Item	\$ 8,250.00	1	\$ 8,250.00
				TOTAL	\$ 91,326.00
	Optional Costs Incurred				
	1x T&G decking	Linear Foot	\$ 8.00		
	Copper Drip Edge, copper nails	10 ft. piece	\$ 93.30	49	\$ 4,571.70
	Gutters and downspouts (5")	Linear Foot	\$ 6.00		
	3/4" CDX Plywood	8' x 4' sheet	\$ 60.00		
				TOTAL COST INCLUDING OPTIONS	\$ 95,897.70
	<i>(less unknown variables i.e. decking, etc)</i>				

Construction Schedule

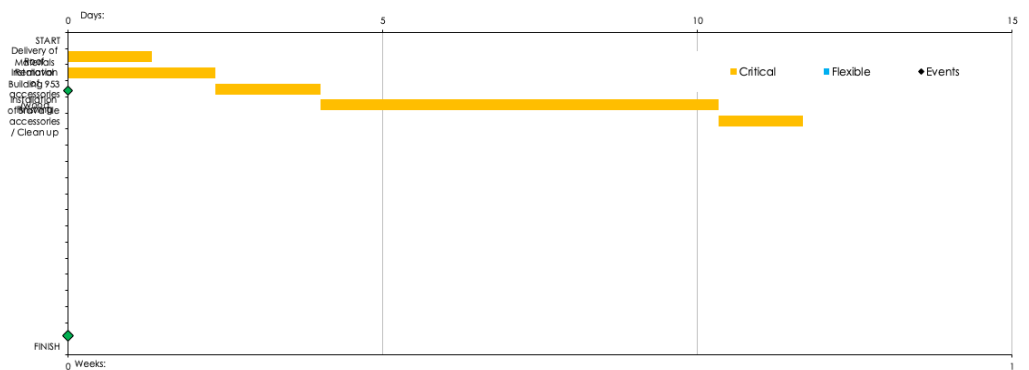
1. *Building 849*

ID	ACTIVITY DESCRIPTION	PREDECESSOR ACTIVITIES					DURATION in days			EXPECTED	EARLY START	EARLY FINISH	LATE START	LATE FINISH	SLACK
		PA - enter separately in columns	OPTIMISTIC	MOST LIKELY	PESSIMISTIC	MIN	AVG	MAX							
1	START						0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
2	Delivery of Materials	1					1	1	2	1.33	0.00	1.33	0.00	0.00	0.00
3	Roof Removal Building 849	1					2	2	3	2.33	0.00	2.33	0.00	0.00	0.00
4	Installation of accessories/wood	1	2	3			1	1	3	1.67	2.33	4.00	0.00	0.00	0.00
5	Installation of Brava Tile	1	2	3	4		4	5	6	5.00	4.00	9.00	0.00	0.00	0.00
6	Finishing accessories / Clean up	1	2	3	4	5	1	1	2	1.33	9.00	10.33	0.00	0.00	0.00
7										0.00	0.00	0.00	0.00	0.00	0.00
8										0.00	0.00	0.00	0.00	0.00	0.00
9										0.00	0.00	0.00	0.00	0.00	0.00
10										0.00	0.00	0.00	0.00	0.00	0.00
11										0.00	0.00	0.00	0.00	0.00	0.00
12										0.00	0.00	0.00	0.00	0.00	0.00
13										0.00	0.00	0.00	0.00	0.00	0.00
14										0.00	0.00	0.00	0.00	0.00	0.00
15										0.00	0.00	0.00	0.00	0.00	0.00
16										0.00	0.00	0.00	0.00	0.00	0.00
17										0.00	0.00	0.00	0.00	0.00	0.00
18										0.00	0.00	0.00	0.00	0.00	0.00
19										0.00	0.00	0.00	0.00	0.00	0.00
20	FINISH	18	19							0.00	0.00	0.00	0.00	0.00	0.00



2. Building 953

ID	ACTIVITY DESCRIPTION	PREDECESSOR ACTIVITIES					DURATION in days			EXPECTED	EARLY START	EARLY FINISH	LATE START	LATE FINISH	SLACK
		PA - enter separately in columns	OPTIMISTIC	MOST LIKELY	PESSIMISTIC	MIN	AVG	MAX							
1	START						0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
2	Delivery of Materials	1					1	1	2	1.33	0.00	1.33	0.00	0.00	0.00
3	Roof Removal Building 953	1					2	2	3	2.33	0.00	2.33	0.00	0.00	0.00
4	Installation of accessories/wood	1	2	3			1	1	3	1.67	2.33	4.00	0.00	0.00	0.00
5	Installation of Brava Tile	1	2	3	4		6	7	8	6.33	4.00	10.33	0.00	0.00	0.00
6	Finishing accessories / Clean up	1	2	3	4	5	1	1	2	1.33	10.33	11.67	0.00	0.00	0.00
7										0.00	0.00	0.00	0.00	0.00	0.00
8										0.00	0.00	0.00	0.00	0.00	0.00
9										0.00	0.00	0.00	0.00	0.00	0.00
10										0.00	0.00	0.00	0.00	0.00	0.00
11										0.00	0.00	0.00	0.00	0.00	0.00
12										0.00	0.00	0.00	0.00	0.00	0.00
13										0.00	0.00	0.00	0.00	0.00	0.00
14										0.00	0.00	0.00	0.00	0.00	0.00
15										0.00	0.00	0.00	0.00	0.00	0.00
16										0.00	0.00	0.00	0.00	0.00	0.00
17										0.00	0.00	0.00	0.00	0.00	0.00
18										0.00	0.00	0.00	0.00	0.00	0.00
19										0.00	0.00	0.00	0.00	0.00	0.00
20	FINISH	18	19							0.00	0.00	0.00	0.00	0.00	0.00



6. Warranty Information

- Absolute Roofing will provide Parkfairfax the “**Brava Endurance Limited Lifetime Warranty**”.
- Absolute Roofing is proud to say that we are the only contractor in the greater DMV area able to offer this. Please find the warranty packet information below:



ENDURANCE LIMITED LIFETIME WARRANTY

This is a limited manufacturer’s warranty, which, subject to the terms and conditions herein described, Brava Roof Tile (hereinafter “Brava”) extends to all original property owners or the first subsequent owner if this warranty was properly transferred for Brava roofing Products regardless of where the owner purchased the Products.

Limited Lifetime Warranty

Subject to the terms, conditions and limitations set forth below, Brava warrants to the original owner of the property on which the Products are installed, and to any party to whom such owner transfers ownership as permitted herein, for a “Lifetime” period of 50 years from the date of the original purchase of the Products. For this warranty term, Brava guarantees that the Products have been manufactured free from defects that materially affect performance when subjected to normal and proper use and installed according to manufacturers specifications.

Workmanship Warranty Coverage:

This warranty covers defects in workmanship for a period of **10 years**, including but not limited to installation errors, misapplication of Products and accessories, and other issues directly related to the installation process. If an issue arises out of a workmanship error with your Products, which is discovered within the first **two years** after installation, it is the obligation of your *Brava Craftsman Installer* to make all necessary repairs. In the event that Brava determines your *Brava Craftsman Installer* is unable or unwilling to perform these repairs, Brava will arrange to have your roof repaired.

Transferability

This warranty is transferable by the original owner **only once** during the first 50 years. To be a valid transfer: 1) the new Transferee owner shall fill out and mail the Warranty Transfer Form within thirty (30) days of the property transfer on which the Products have been installed.

Hail Warranty Coverage

Brava’s Products are engineered and tested to meet UL 2218 Class IV impact rating. Warranty coverage does not apply to foreign objects as described in the “Limitations” section or hail with a greater diameter than 1 ½” as determined by the National Weather Service. In the event a claim for hail is covered under this warranty, the provisions of the “Remedy” section shall apply.

High Wind Warranty Coverage

Brava shall have no liability under this Limited Lifetime Warranty for Product damage resulting from or any way related to exposure to winds (i) in excess of 90, 110, or 130 mph depending on actual installation specifications used in the field; (ii) occurring after the first fifteen (15) years following application; or (iii) any time after the Products have been exposed to winds in excess of 90, 110, or 130 mph depending on actual installation specifications used in the field. Refer to installation guidance for standard and high wind installation specifications, requirements, and associated wind speed coverage. In the event a claim for wind is covered under this warranty, the provisions of the “Remedy” section shall apply.

Color Resistance Warranty Coverage

Brava’s Products are engineered to the highest available standards to resist color fading, however, the color of materials subjected to elements of the outdoor environment may weather over time. The degree of weathering depends on several factors specific to the geographic area in which the materials are installed. This warranty shall cover, for any claim that is reported within **ten (10) years** from the date the Products were installed, any fading which is greater than four (4) Hunter units, as determined in accordance with ASTM D2244 and beyond what is typical of roofing materials installed in the geographical location where the Products are installed. In the event the change in color exceeds four (4) Hunter units but does not exceed, in Brava’s sole discretion, what is typical for the

geographic area, or a claim is made more than ten (10) years from the date the Products were installed, this warranty shall not apply. In the event a claim for fading is covered under this warranty, the provisions of the "Remedy" section shall apply.

Remedy

Brava assumes the obligation, in its sole discretion, to either: A) provide replacement products and installation costs to repair the affected portions of the roof, or B) refund the original purchase price of the Products, excluding freight and other related costs, or C) any other mutually agreeable resolution. In the event Brava selects Option A, installation costs shall include labor, flashing, metal work, underlayment, product disposal, and other related costs, provided however, that Brava's obligation to pay said installation costs shall not exceed the prevailing local rates, or \$400 per one hundred square feet, whichever is lower. Furthermore, Brava reserves the right to approve the selection of any contractor enlisted by the Owner to perform the repair work. Notwithstanding the foregoing, one hundred and twenty (240) months from the date of the original purchase of the Products, Brava's sole responsibility shall be the issuance of a refund, which amount shall be a percentage of the original purchase price of the Products, which percentage shall be determined by dividing the number of months remaining in the warranty period by 600. Brava's refund after 240 months from the date of installation specifically excludes installation costs and other related costs. Any claim and/or replacement of Brava products will not extend the warranty period set forth above. Notwithstanding anything herein to the contrary, no benefit under this warranty shall accrue to any owner and Brava shall incur no liability under this warranty unless and until the Products have been paid for in full by the owner or its predecessor in title.

Insurable Risks

Before any coverage shall apply under this warranty, in the event of damage to Products caused by any insurable risk during the warranty period, the owner must first exhaust all efforts to pursue the cost of replacement or repair of all damaged Products through the owner's insurance coverage. Any costs incurred by the owner in excess of the insurance contributed by any source of insurance reimbursements (excluding insurance deductibles), will be reimbursed by Brava only to the extent such costs are otherwise permitted pursuant to this warranty.

Customer Responsibilities

To have a valid warranty, the original owner must complete the attached Warranty Registration Form within thirty (30) days of the completion of installation of the Products. For High Wind Installations, a copy of the High Wind Warranty Compliance Form must be completed and submitted with the registration. For any alleged warranty claims, the warranty claimant must notify Brava in writing within sixty (60) days after discovery of any manufacturing defect or covered damage. The warranty claimant must include proof of purchase (or proof of warranty transfer in accordance with this warranty), and proof of property ownership, along with such notice. Failure to timely notify Brava of any defect or damage shall nullify this warranty.

Limitations

This warranty does not apply to, and Brava shall not be liable for the following:

1. Improper installation or installation not in strict adherence to Brava's written installation instructions and specifications.
2. Damage to the roofing product due to causes beyond normal service and use, including, but not limited to:
 - a. Acts of nature such as, but not limited to, fire, earthquake, flood, lightning, hurricane, tornado, derechos or other casualty.
 - b. Wind velocities greater than 90 mph, 110 mph, or 130 mph depending on actual installation specifications used in the field. Refer to the "High Wind Warranty Compliance Form" for guidance associated with installation specifications and wind speed coverage.
 - c. Impact of foreign objects including damage caused by objects blown onto the roof by wind, i.e., tree branches, hail in greater diameter than 1 ½" as determined by the National Weather Service.
 - d. Improper storage, handling, or misuse of the Products.
 - e. Vandalism.
 - f. Inadequate ventilation.
3. Damage to the Products caused by alterations made after completion of the application, including, but not limited to, structural changes, equipment installation, painting or the application of cleaning solutions, coatings, solar panels, snow guards, or other modifications.
4. Installation of Products while the Product temperature is less than 32 degrees Fahrenheit.
5. Damage or loss caused by ice backup, ice damming or snow slides.

©Brava Roof Tile Effective 1/1/25

- **Absolute Roofing will provide Parkfairfax with Ludowici's standard 75-year material warranty covering color fastness and other manufacturing defects**



Name ABSOLUTE ROOFING LLC

DPOR License Lookup License Number 2705185432

License Details

Name	ABSOLUTE ROOFING LLC
License Number	2705185432
License Description	Contractor
Firm Type	LLC - Limited Liability Company
Rank ¹	Class A
Address	10825 SPLIT OAK LN, BURKE, VA 22015
Specialties²	Home Improvement (HIC)
Initial Certification Date	2023-01-19
Expiration Date	2027-01-31

- 1 Refer to the [Statutory Definitions](#) for descriptions of the rank or class of license (A, B, or C) that determines the monetary limits on contracts/projects.
- 2 Refer to the [Classification Definitions](#) and [Specialty Definitions](#) for detailed definitions of these classifications and specialties.

The data located on this website are not the public records of the Department of Professional and Occupational Regulation (DPOR). All public records are physically located at DPOR's Public Records Section: 9960 Mayland Drive, Suite 400, Richmond, VA 23233. While DPOR works to ensure the accuracy of the data provided online, the data available on these pages are updated routinely but may not be up to date at all times (due to document processing delays, technical maintenance, etc.).

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DPOR License Lookup build 1,480 (built 2024-04-05 04:28:10).



NCCI Assigned Risk Department
901 Peninsula Corporate Circle
Boca Raton, FL 33487
800-622-4123

February 03, 2025

Absolute Roofing LLC
12050 S Lakes Dr Ste B
Reston, VA 20191-1220

EFFECTIVE DATE: 01/30/2025
EXPIRATION DATE: 01/30/2026
BINDER NUMBER: 45-10804-25034-357945
FED ID NUMBER: 88-4007574
APPLICATION ID: 51378789

APPLICANT NAME: Absolute Roofing LLC

RE: WORKERS COMPENSATION AND EMPLOYERS LIABILITY POLICY BINDER

This is to acknowledge receipt of an initial or deposit premium payment and your application for insurance submitted through NCCI's Workers Compensation Insurance Plan or a similar state-approved plan that is administered by NCCI (Plan). Your application for assigned risk workers compensation insurance was processed and bound in accordance with Plan rules for the state/jurisdiction of **Virginia**, and those additional states/jurisdictions, if any, shown under Informational Notices in the Additional Notices section of this binder.

Workers compensation insurance is provided under this binder, beginning at 12:01 a.m. ET on the effective date shown above, and with the insurance company named below, and shall remain in effect until cancelled or a policy has been issued in accordance with applicable state/jurisdiction law. The insurance is provided in accordance with the workers compensation laws of **Virginia** and/or any additional states/jurisdictions shown under Informational Notices in the Additional Notices section, as applicable. Employers liability insurance is also provided, subject to the standard limits prescribed in NCCI's **Basic Manual** and **Residual Market Manual** in the associated state(s), unless higher limits have been provided in accordance with Plan rules.

Please retain this binder as documentation of insurance until you receive your policy.

This binder supersedes any binders previously issued to the Applicant named above by NCCI.

PRODUCER/EMPLOYER/CARRIER: Please refer to Action Required Notices in the Additional Notices section for information/documents that must be provided to the carrier and/or the state/jurisdiction within the time specified by statutory and/or Plan requirements. If the information/documents are not provided, the carrier may make changes, including without limitation, premium changes and cancellation of this binder and/or the policy.

INSURANCE COMPANY:

TRAVELERS PROPERTY CASUALTY CO OF AMERICA
BALDWIN POINT
BALDWIN POINT
ORLANDO, FL 32814
(800) 443-4404
ARWC@travelers.com

AGENCY NAME:

JOHN BROWN FARMERS INSURANCE
21750 HARDY OAK BLVD STE 104 #58548
SAN ANTONIO, TX 78258
(888) 973-0016
jesus@farmerbrown.com

8. Safety Plan & Compliance

- **OSHA Compliance Measures:**
 1. **Fall Protection:** OSHA requires fall protection when workers are exposed to falls of 6 feet or more in the construction industry. Absolute Roofing would need to use guardrails, safety nets, or personal fall arrest systems (such as harnesses) to prevent falls.
 2. **Ladder Safety:** OSHA requires the safe use of ladders. They would ensure ladders are stable, inspected before use, and used properly to avoid accidents.
 3. **Personal Protective Equipment (PPE):** Workers would need to wear appropriate PPE, such as hard hats, safety glasses, gloves, and hearing protection if needed, depending on the noise level on the site.
 4. **Scaffolding Safety:** the scaffolding used will be properly constructed, inspected, and maintained to meet OSHA guidelines. Workers should be trained on how to safely use scaffolds.
 5. **Tool and Equipment Safety:** Ensuring that all tools and equipment are properly maintained and used according to OSHA standards. This includes ensuring ladders, power tools, and roofing equipment are in good working condition and that workers are properly trained to use them.
 6. **Training and Competence:** Absolute Roofing would need to provide safety training to all employees, including hazard communication, fall protection, and emergency response procedures, ensuring that all workers are aware of safety protocols.
 7. **Hazard Communication:** Any chemicals or materials used on the job, such as adhesives, sealants, or coatings, must be clearly labeled and the workers should be educated on how to handle them safely.
 8. **Weather Precautions:** If the weather poses any danger (e.g., high winds, rain), work should be halted, or proper precautions should be taken to prevent accidents.

By adhering to these OSHA compliance measures, Absolute Roofing helps ensure the safety of its workers and the success of the project.

9. Additional Terms & Conditions

- **Permits & Inspections Responsibility**
 - Absolute Roofing will obtain any and all necessary permits from the city of Alexandria, VA prior to commencement of any roof replacement projects at Parkfairfax
- **Change Orders & Additional Costs**
 - Absolute Roofing will strive to ensure that pricing does not change from the initial bid. If a situation arises where additional materials are required, absolute roofing will notify Francisco Foshi via email. Once approved, the change in cost will be recorded via a change order document. With that being said, it is likely that the only "unforeseen expense" may be plywood/decking replacement as necessary, upon inspection of the existing decking for rot, upon removal of the existing tile roof.
- **Weather Delays & Force Majeure**
 - Any changes in scheduling will be communicated to Francisco Foshi with as much advance notice as possible.



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<p>Date: March 7th, 2025</p> <p>Prepared for: Parkfairfax Condominium</p> <p>Project Location : 3223 Martha Custis Dr Alexandria, VA 22302 Building : #849</p> <p>Attention : Mr. Francisco Foschi</p>	<p>G&A General Contractors LLC. 6731 Whittier Avenue Suite B-233 McLean, VA 22101</p> <p>www.GandAgc.com.com</p> <p>Email. info@GandAgeneralcontractors.com</p> <p>Office. 703-637-3511</p> <p>Virginia License Number: 2705187055</p> <p>Class A Contractor, *Classifications* RBC</p>
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Material Ordering and Preparation (1 to 8 weeks)

Week 1-2: Order materials, including (1) copper vent stack.

Week 2-3: Wait for Material delivery update

- Obtain necessary permits from local authorities
- Confirm the delivery date.
- Create step flashing, valleys, drip edge, etc.
- Schedule Miss Utility for underground marking.
- Schedule scaffolding delivering and installation.

Week 3-4: Wait for Material delivery update

- Follow up/ Confirm the delivery date.
- Create step flashing, valleys, drip edge, etc.
- Confirm scaffolding delivery and installation schedule; to be delivered and installed within one week of material arrival.
- Schedule Telehandler delivery to be delivered within two days of material arrival and scaffolding installation.

Week 4-5: Stand by to execute the following within a week of material delivery

- Confirm the crew schedule and prepare tools.
- Deliver portable toilet.
- Deliver and install scaffolding (3-days of instruction).
- Remove gutters and down spouts (1-day for removal).
- Deliver Telehandler and Dump Hopper for loading and unloading materials.



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Week 5-6: Roof System Installation (Depending on delivery date of material)

- First Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.

Week 6-7: Roof System Installation

- Second Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.

Week 7-8: Roof System Installation

- Third Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.
- Remove Telehandler and Dump Hopper.
- Dismantle/remove scaffolding (3-days of instruction).
- Repair brick mortar joints as needed including painting if any.
- Reinstall gutters and down spouts (1-day for removal).
- Run magnet around the entire work area for nails. Clean the premises of all roofing debris, and haul away.
- Final walkthrough with the homeowner to ensure satisfaction.
- Provide maintenance tips and warranty information.
- Complete any remaining paperwork and close the project
- Conduct a thorough inspection to ensure proper installation.
- Make any necessary adjustments or repairs.
- Perform a final inspection and address any remaining issues.
- Obtain final approval from relevant authorities, if required.
 - ❖ The critical path may vary depending on but not limited to, weather conditions, material availability and other factors.

For G&A General Contractors, LLC.

Date

For Building Owner/Representative

Date



G&A General Contractors, LLC.

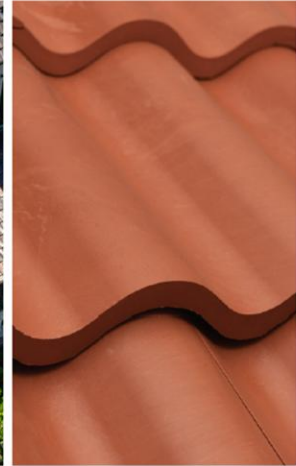
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Parkfairfax

3223 Martha Custis Drive
Alexandria, Va 22302
Building #849



Title 24 Guide Shake, Slate & Spanish Barrel Tile





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<p>Date: March 7th, 2025</p> <p>Prepared for: Parkfairfax Condominium</p> <p>Project Location : 3223 Martha Custis Dr Alexandria, VA 22302 Building: #849</p> <p>Attention : Mr. Francisco Foschi</p>	<p>G&A General Contractors, LLC. 6731 Whittier Avenue, Suite B-233 McLean, VA 22101</p> <p>www.gandageneralcontractors.com</p> <p>Email: info@gandageneralcontractors.com</p> <p>Office: 703-637-3511</p> <p>Virginia License Number: 2705187055</p> <p>Class A Contractor, *Classifications* RBC</p>
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Scope of Work

BRAVA SLATE TILES (10" Maximum Exposure)

- Provide necessary protection for the property and landscaping during tear-off and installation.
- Provide Telehandler with Dump Hopper for loading and unloading materials to include slate tiles to be recycled; see below.
- Provide the necessary supervision, project management, labor, equipment, material and supplies required for the demolition & removal of existing roof materials, installation of new roof materials and proper disposal/clean-up of work-related debris.
- Provide portable toilets, generators & dumpsters/trash removal and other tools necessary to complete the scope of work.
- Remove gutters and downspouts for new roof system installation; G&A General Contractors, LLC. will store and protect existing gutters and downspouts and reinstall them in the same location with hidden aluminum hangers after the new roof installation is completed. Note: G&A General Contractors, LLC. will inform the owner of any deficient or missing sections of gutters or downspouts. A change order will be provided at a rate of \$9.50 per linear foot for approval if repairs are necessary.
- Furnish and install necessary fall protection to include scaffolding around the perimeter of building with overhead protection on all entrances. *See below for scaffolding scope of work.*
- Remove existing slate tiles. G&A General Contractors, LLC. will carefully remove tiles to save as close to 90% as possible for recycling. Note: customer to provide pallets for the placement of removed tiles. G&A General Contractors, LLC. will not be held liable for any recycled tiles after they have been deposited at the Owner provided designated drop off area.



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- Remove and dispose of all existing roof coverings, underlayment, flashing systems, pipe penetration boot flashings, deteriorated sheathing as identified jointly with Parkfairfax staff and flashing at transitions in height between building sections, etc. on all roofs.
- Inspect condition of existing T&G decking slats jointly with Parkfairfax staff and mark roof deck slats to be replaced. Note: damaged decking to be replaced with 1x6 or 1x8 pine with no T&G @ \$12.50 per linear foot and/or with 3/4" OSB @ \$8.50 per linear foot. If full plywood is installed, it will be charged @ \$120 per sheet. (other carpentry work charged at Time & Material rate of \$95/man hour).
- Furnish and install Brava Ice and Water Shield membrane at the eaves to extend 36" from edge of roof to pass minimum 24" exterior walls to include on valleys, stocks and all other penetration points based on code.
- Furnish and install Brava synthetic felt underlayment, based on code and recommended by manufacturer.
- Furnish and install **BRAVA composite flat tiles** with upgraded Solid Slate on rakes and valleys for best appearance and a natural aesthetic look along rakes an open valley; (Color-matched flat tile preselected by owner in coordination with Brava) with manufacturer's 50-Year warranty "see attached Limited Lifetime Warranty from **Brava**" and contractor's 10-year roofing workmanship warranty. Roof system to be installed in accordance with manufacturer's specifications and details, industry standards, ARMA, SMACNA, and NRCA installation details. Tiles are to be installed with (4) 1 3/4" Stainless Steel Ring Shank Nails, 10" Maximum Exposure, 1 1/2" Minimum Sidelap, 1" Rake Overhang, 3/4" Minimum Fastener Penetration, 1/2" Eave Overhang, 3/16" Minimum Keyway Spacing and with no Exposed Fasteners.
- Furnish and install new 16 oz 24 Gauge copper drip edge based on manufacturer specifications and code.
- Furnish and install new 16 oz 24 Gauge copper step flashing based on manufacturer specifications and code.
- Furnish and install opened 16 oz 24 Gauge copper W-valleys.
- Remove (3) copper collars; collars to be re-used/reinstalled. Note: for the purpose of G&A General Contractors, LLC. Workmanship warranty, if existing collars get damaged during removal, G&A General Contractors, LLC. Will install new ones at no cost to owner.
- Furnish/replace (1) vent stacks; new stacks to be of copper.
- Furnish/apply TITEBOND caulking to penetration/flashing per roofing installation standard.
- Run magnet around the entire work area for nails. Clean the premises of all roofing debris, and haul away.
 - ❖ G&A General Contractors, LLC recommends that the Parkfairfax Unit Owners Association notify tenants to protect their interiors from small debris during the tear-off process, as vibrations may cause small debris to enter the units.

Scaffolding

- Scaffolding will be installed approx. 12" from the wall.
- Access to the scaffolding will be via 4'-1" W x 8'-2" L Scaffolding Stair System at one location.
- Scaffolding will have deck levels every 6'- 6" H.
- Scaffold decks to be designed for 25 psf load Scaffold to be tied into brick mortar joints with mechanical anchors (3/8" diameter) every 15'H. G&A General Contracotors, LLC will repair brick mortar joints as needed; new mortar/paint if any to match to existing as close as possible.
- The Scaffolding will have 1 deck level at the top.
- Scaffolding will be fully guard-railed and OSHA compliant for worker safety.
- Area to remain closed and free of pedestrians and non-workers during the installation and dismantling of scaffolding.



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- Below each scaffold a 2"x10"x12" mud sill will be placed in order to help distribute the load
- Work assumes to be concurrent and non-interrupted.

Overhead Protection

- Provide overhead protection at all entrances of the building.
- Overhead protection designed for 150 psf uniform live load.
- A clear height of 8'-0" will be maintained between the ground and the bottom of the scaffold members.
- Roofing system to utilize ¾" plywood on top of aluminum beams.
- Below each scaffold leg a 2"x10"x12" mud sill will be placed.
 - ❖ *Engineering stamped drawings are not included if required by owner and/or for permits. Owner to compensate G&A General Contractors, LLC \$3,950.00 for engineering stamped drawings.*

G&A General Contractors Inc. WILL PERFORM THE ABOVE WORK FOR THE PRICE OF: One Hundred Fifty-Seven Thousand Nine Hundred Fifty-Two Dollars: \$118,102.00 (see scaffolding price below)

Other Notes and Requirements

- A. Access to the roof will be from the exterior of the building. G&A General Contractors, LLC. will coordinate and schedule with any public utility providers needed to fulfill the requirements mentioned herein.
- B. Schedule manufacturer's representative to inspect mock-up installation and initial stages of installation. The manufacturer's representative shall provide a letter documenting the visit, observations, and recommendations made.

CONTRACTOR'S USE OF SITE AND PREMISES

- A. Contractor shall have limited use of project site for construction operations by the Contract limits and as indicated by requirements of this Section. Contractor shall provide Owner a site logistics plan showing material storage area, scaffolding limits, delivery areas, and equipment set-up areas.
- B. Limits on Use of Site: Limit use of Project site to Work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
- C. Schedule deliveries to minimize use of roads and parking spaces by construction operations.
- D. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations, including grass & landscaping that surround the building.
- E. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

CONTRACTOR'S COORDINATION REQUIREMENTS



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- A. Contractor shall review and coordinate work access requirements for all work areas.
- B. Contractor shall ensure the protection of underground utilities in the vicinity of the Work. Contractor shall coordinate the procurement of Permits and Approvals required by the City of Alexandria necessary to complete the Work, including but not limited to the Building Permit, permit for the placement of dumpsters on City of Alexandria owned streets, and other tests and inspections.
- C. Contractor shall coordinate and provide all work area safety measures necessary to protect the public and as required by the local jurisdiction. Such safety measures include, but are not limited to, the following:
- D. Contractor shall provide complete overhead protection to each residential unit main entry door as needed below elevated work areas. Divert pedestrian traffic away from work areas using signage and physical barriers.
- E. Protect (as necessary) existing electrical, mechanical, and plumbing systems and related components from the Work. This may include covering, shoring, bracing, temporary removal/resetting, and relocating.
- F. Clean all areas affected by the Work including trees, shrubs, landscaping, sidewalks, parking lots, walking paths, low roofs, entryways, etc. of all work-related nails, dust and debris. Remove and dispose of all scaffolding, formwork, by-products, and debris associated with the Work. Remove all equipment from the site. Store extra material purchased by the Owner at the Maintenance Yard. Otherwise, dispose of all excess material.
- G. Contractor shall make the Owner aware of any trees, shrubs, landscaping and/or other existing features that need to be trimmed or removed to allow for access to the work area prior to the start of work.
- H. The Owner will pay for and complete this work prior to mobilization to the work areas in question.
- I. The Contractor shall reasonably protect existing trees, shrubs, landscaping, patios and other existing features from the Work. *The contractor shall coordinate with the Parkfairfax Director of Operations for the installation of Parkfairfax owned rubber mats to be used as ground cover to protect the grass from heavy equipment.*
- J. The contractor will not be held responsible for unavoidable damage to patios, trees, shrubs, and landscaping within 4' of the wall surfaces where work was performed.
- K. Grass that is damaged or disturbed by the Work shall be restored. Contractor shall hand rake to restore finished grade, cover with 1"-2" of topsoil, seed, and straw- cover. Watering and maintenance following seed and straw procedures is the responsibility of the Owner.

COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner will occupy project site and existing building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.
- B. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities.
- C. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.



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WORK RESTRICTIONS

- A. Comply with restrictions on construction operations.
- B. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of the City of Alexandria, including the placement of dumpsters on City owned streets.
- C. On-Site Work Hours: Limit work to between 7am to 6pm, Monday through Friday, unless otherwise indicated.
- D. Weekend Hours: Saturday only, 9am to 6pm. No work on Sundays or federal holidays.
- E. Hours for Utility Shutdowns: As coordinated with and approved by the Owner.
- F. On-Site Work Day Restrictions: Do not perform work resulting in utility shutdowns or resulting in noisy activity on-site during work black-out days as directed by the Owner.
- G. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging for temporary utility services according to requirements indicated:
 - H. Notify Owner not less than two days in the proposed utility interruptions.
 - I. Obtain Owner's written permission before proceeding with utility interruptions.
- J. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.
- K. Notify Owner not less than two days in advance of proposed disruptive operations.
- L. Obtain Owner's permission before proceeding with disruptive operations.
- M. Smoking and Controlled Substance Restrictions: Use of tobacco products, alcoholic beverages, and other controlled substances on Owner's property is not permitted.



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TERMS AND CONDITIONS

NATIONAL AND LOCAL CODES:

G&A General Contractors LLC shall meet the National Code and local Building Codes. Errors in design by the Architect and /or Engineer are not the responsibility of G&A General Contractors LLC. Any additions not indicated on plans and specifications that are required by other (ex., Inspectors) shall not be part of this Proposal.

CONTRACTOR SHALL NOT BE LIABLE:

For failure to perform if prevented by a Strike, or other labor disputes, accidents, acts of God, governmental or municipal regulations or interference, shortages of labor or materials, delays in transportation, non-availability of the same manufacturer or supplier, or other causes beyond contractor's control. In no event shall the contractor be liable for special or consequential damages whatsoever or however caused. Project may be delayed due to the listed acts described herein.

CANCELLATION RIGHTS OF PARTIES:

Customer has the right to cancel the contract within 3 days of signing the contract.

CHANGE ORDERS:

Any deviation, alteration, or changes from this Proposal will be executed only on receipt of written change order. These changes must be in writing and signed by all parties. Said changes shall in no way affect or make void the signed contract.

CONTRACTOR INFORMATION:

G&A General Contractors LLC, 6731 Whittier Avenue Suite B-233, McLean, VA 22101

License # 2705187055, Class A Contractor license with RBC specialty designation

CONTRACTOR TRANSACTION RECOVERY FUND:

The Virginia Contractor Transaction Recovery Act provides relief to eligible consumers who have incurred losses through the improper or dishonest conduct of a licensed residential contractor. The Recovery Fund is supported entirely by assessments paid by licensed contractors, not by any tax revenues. Filing a claim does not guarantee payment.

Recovery Fund Office | DPOR
9960 Mayland Drive, Suite 400
Richmond, VA 23233
(804) 367-1559
E-mail: RecoveryFund@dpovirginia.gov



G&A General Contractors, LLC.

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March 7th, 2025

Mr. Francisco Foschi, 3223 Martha Custis, Alexandria, VA 22302

TOTAL BASE PRICE: \$118,102

SCAFFOLDING: \$39,850

TOTAL PRICE: \$157,952

Note: G&A General Contractors, LLC. will start the basement design within 2 weeks after acceptance of proposal, and actual work will start within 2 weeks after permit with a duration of approximately three months.

Payment/draw schedule:

50% deposit with signed contract.

50% after completion of project.

Due to current market conditions the above price may change according to material price and availability. Due to the current volatility of the market, expect extended lead times. Price escalators may apply if the project spans a manufacturer's increase.

This proposal is void after 15 days. By signing below, this proposal becomes a binding contract. Please remit a 50% deposit with the signed contract, final payment due at completion.

For G&A General Contractors, LLC.

Date

For Building Owner/Representative

Date



G&A General Contractors, LLC.

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<p>Date: March 7th, 2025</p> <p>Prepared for: Parkfairfax Condominium</p> <p>Project Location : 1500 Mount Eagle Place Alexandria, VA 22302 Building : #953</p> <p>Attention : Mr. Francisco Foschi</p>	<p>G&A General Contractors, LLC. 6731 Whittier Avenue Suite B-233 McLean, VA 22101</p> <p>www.GandAgc.com</p> <p>Email. info@GandAgeneralcontractors.com</p> <p>Office. 703-637-3511</p> <p>Virginia License Number: 2705187055</p> <p>Class A Contractor, *Classifications* RBC</p>
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Material Ordering and Preparation (1 to 18 weeks)

Week 1-2: Order materials.

Week 2-6: Wait for Material delivery update

- Confirm the delivery date.
- Travel for Ludowici training with the technicians.
- Order Copper for the flashing and vent stacks.
- Obtain necessary permits from local authorities.

Week 6-8: Wait for Material delivery update

- Follow up/ Confirm the delivery date.
- Schedule Miss Utility for underground marking.
- Create step flashing, valleys, drip edge, etc.
- Schedule scaffolding delivery and installation.
- Remove the old roofing material and dispose of it properly.

Week 8-10: Wait for Material delivery update

- Remove gutters and downspouts (within one week of material arrival).
- Schedule Telehandler delivery to be delivered within two days of material arrival and scaffolding installation.
- Confirm scaffolding delivery and installation schedule; to be delivered and installed within one week of material arrival.

Week 12-13: Stand by to execute the following within a week of material delivery

- Confirm the crew schedule and prepare tools.
- Deliver portable toilet.
- Deliver and install scaffolding (3-days of instruction).
- Remove gutters and down spouts (1-day for removal).
- Deliver Telehandler and Dump Hopper for loading and unloading materials.

Week 13-14: Roof System Installation (Depending on materials delivered date)

- First Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.



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Week 14-15: Roof System Installation

- Second Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.

Week 15-16: Roof System Installation

- Third Section: Demolition and deck preparation/installation.
- Clean up the site and remove all debris daily, to include running magnet around the entire work area for nails.
- Remove Telehandler and Dump Hopper.
- Dismantle/remove scaffolding (3-days of instruction).
- Repair brick mortar joints as needed including painting if any.
- Reinstall gutters and down spouts (1-day for removal).
- Run magnet around the entire work area for nails. Clean the premises of all roofing debris, and haul away.
- Final walkthrough with the homeowner to ensure satisfaction.
- Provide maintenance tips and warranty information.
- Complete any remaining paperwork and close the project
- Conduct a thorough inspection to ensure proper installation.
- Make any necessary adjustments or repairs.
- Perform a final inspection and address any remaining issues.
- Obtain final approval from relevant authorities, if required.
 - ❖ The actual times/critical path above may vary depending on but not limited to, weather conditions and other factors.

For G&A General Contractors, LLC.

Date

For Building Owner/Representative

Date



G&A General Contractors, LLC.

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Parkfairfax

1500 Mount Place
Alexandria, Va 22302
Building #953

LEGACY COLLECTION

AMERICANA 16" INTERLOCKING TILE

LUDOWICI®





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<p>Date: March 7th, 2025</p> <p>Prepared for: Parkfairfax Condominium</p> <p>Project Location: 1500 Mount Place, Alexandria, VA 22302 Building: #953</p> <p>Attention: Mr. Francisco Foschi</p>	<p>G&A General Contractors, LLC. 6731 Whittier Avenue, Suite B-233 McLean, VA 22101</p> <p>www.gandageneralcontractors.com</p> <p>Email: info@gandageneralcontractors.com</p> <p>Office: 703-637-3511</p> <p>Virginia License Number: 2705187055</p> <p>Class A Contractor, *Classifications* RBC</p>
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Scope of Work

Ludowici Americana 16" Interlocking Tile (13" Exposure)

- Provide necessary protection for the property and landscaping during tear-off and installation.
- Provide Telehandler with Dump Hopper for loading and unloading materials to include slate tiles to be recycled; see below.
- Provide the necessary supervision, project management, labor, equipment, material and supplies required for the demolition & removal of existing roof materials, installation of new roof materials and proper disposal/clean-up of work-related debris.
- Provide portable toilets, generators & dumpsters/trash removal and other tools necessary to complete the scope of work.
- Remove gutters and downspouts for new roof system installation; G&A General Contractors, LLC. will store and protect existing gutters and downspouts and reinstall them in the same location with hidden aluminum hangers after installation is completed. Note: G&A General Contractors, LLC. will inform the owner of any deficient or missing sections of gutters or downspouts. A change order will be provided at a rate of \$9.50 per linear foot for approval if repairs are necessary.
- Furnish and install necessary fall protection to include scaffolding around the perimeter of building with overhead protection on all entrances. *See below for scaffolding scope of work.*
- Remove existing slate tiles; G&A General Contractors, LLC. will carefully remove tiles to save as close to 90% as possible for recycling. Note: customer to provide pallets for the placement of removed tiles. G&A General Contractors, LLC. will not be held liable for any recycled tiles after they have been deposited at the Owner provided designated drop off area
- Remove and dispose of all existing roof coverings, underlayment, flashing systems, pipe penetration boot flashings, deteriorated sheathing as identified jointly with Parkfairfax staff and flashing at transitions in height between building sections, etc. on all roofs.
- Inspect condition of existing T&G decking slats jointly with Parkfairfax staff and mark roof deck slats to be replaced. Note: damaged decking to be replaced with 1x6 or 1x8 pine with no T&G @ \$12.50 per linear foot



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and/or with 3/4" OSB @ \$8.50 per linear foot. If full plywood is installed, it will be charged \$120 per sheet. (other carpentry work charged at Time & Material rate of \$95/man hour).

- Furnish and install Ice and Water Shield membrane at the eaves to extend 36" from edge of roof to pass minimum 24" exterior walls to include on valleys, stocks and all other penetration points based on code.
- Furnish and install synthetic felt underlayment, based on code and recommended by manufacturer.
- Furnish and install **Ludowici Americana 16" Interlocking Tile** (Color: **Forest Green glaze** Texture: **lightly pressed bark**) with manufacturer's 75-Year warranty against color fading and manufacturing defects and contractor's 10-year roofing workmanship warranty. Roof system to be installed in accordance with manufacturer's specifications and details, industry standards, ARMA, SMACNA, and NRCA installation details. Tiles are to be installed with (2) 1 3/4" stainless steel ring shank nails and upgraded Left and Right Detached End Band Rake Tiles "instead of rake flashing" for best appearance and a natural aesthetic look along rakes.
- Furnish and install new 16 oz 24 Gauge copper drip edge based on manufacturer specifications and code.
- Furnish and install new 16 oz 24 Gauge copper step flashing based on manufacturer specifications and code.
- Furnish and install opened 16 oz 24 Gauge copper W-valleys.
- Furnish/replace lower and upper section cupola metal with 16 oz 24 Gauge copper; Note: if structural damage is discovered after removing existing flashing, a change order will be required.
- Furnish/replace (5) vent stacks; new stacks to be of copper.
- Furnish/apply TITEBOND caulking to penetration/flashing per roofing installation standard.
- Run magnet around the entire work area for nails. Clean the premises of all roofing debris, and haul away.
- * G&A General Contractors, LLC. recommends that the Parkfairfax Unit Owners Association notify tenants to protect their interiors from small debris during the tear-off process, as vibrations may cause small debris to enter the units.

Scaffolding

- Scaffolding will be installed approx. 12" from the wall
- Access to the scaffolding will be via 4'-1" W x 8'-2" L Scaffolding Stair System at one location.
- Scaffolding will have deck levels every 6' - 6"H
- Scaffold decks to be designed for 25 psf load Scaffold to be tied into brick mortar joints with mechanical anchors (3/8" diameter) every 15'H. G&A General Contractors, LLC. will repair brick mortar joints as needed; new mortar/paint if any to match to existing as close as possible.
- The Scaffolding will have 1 deck level at the top.
- Scaffolding will be fully guard-railed and OSHA compliant for worker safety.
- Area to remain closed and free of pedestrians and non-workers during the installation and dismantling of scaffolding.
- Below each scaffold a 2"x10"x12" mud sill will be placed in order to help distribute the load.
- Work assumes to be concurrent and non-interrupted.

Overhead Protection

- Provide overhead protection at all entrances of the building.
- Overhead protection designed for 150 psf uniform live load.
- A clear height of 8'-0" will be maintained between the ground and the bottom of the scaffold members.
- Roofing system to utilize 3/4" plywood on top of aluminum beams.



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- Below each scaffold leg a 2"x10" x12" long mud sill will be placed.
 - ❖ *Engineering stamped drawings are not included if required by owner and/or for permits. Owner to compensate G&A General Contractors, LLC \$3,950.00 for engineering stamped drawings.*

G&A General Contractors Inc. WILL PERFORM THE ABOVE WORK FOR THE PRICE OF: One Hundred Eighty-One Thousand Five Hundred Seventy-Six Dollars: \$181,576.00 (See Scaffolding Price Below)

Other Notes and Requirements

- A. All phases of the Work shall be executed by skilled craftsmen experienced in their respective trades. To include all roofers (mechanics) working/executing this project must complete the Ludowici Factory Installation Training (FIT) course in New Lexington, OH or Dallas, TX prior to working on any Parkfairfax roofs.
- B. Access to the roof will be from the exterior of the building. G&A General Contractors, LLC. will coordinate and schedule with any public utility providers as needed to fulfill the requirements mentioned herein.
- C. Schedule manufacturer's representative to inspect mock-up installation and initial stages of installation. The manufacturer's representative shall provide a letter documenting the visit, observations, and recommendations made.

CONTRACTOR'S USE OF SITE AND PREMISES

- A. Contractor shall have limited use of project site for construction operations by the Contract limits and as indicated by requirements of this Section. Contractor shall provide Owner a site logistics plan showing material storage area, scaffolding limits, delivery areas, and equipment set-up areas.
- B. Limits on Use of Site: Limit use of Project site to Work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
- C. Schedule deliveries to minimize use of roads and parking spaces by construction operations.
- D. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations, including grass & landscaping that surround the building.
- E. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

CONTRACTOR'S COORDINATION REQUIREMENTS

- A. Contractor shall review and coordinate work access requirements for all work areas.
- B. Contractor shall ensure the protection of underground utilities in the vicinity of the Work. Contractor shall coordinate the procurement of Permits and Approvals required by the City of Alexandria necessary to complete the Work, including but not limited to the Building Permit, permit for the placement of dumpsters on City of Alexandria owned streets, and other tests and inspections.
- C. Contractor shall coordinate and provide all work area safety measures necessary to protect the public and as required by the local jurisdiction. Such safety measures include, but are not limited to, the following:



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- D. Contractor shall provide complete overhead protection to each residential unit main entry door as needed below elevated work areas. Divert pedestrian traffic away from work areas using signage and physical barriers.
- E. Protect (as necessary) existing electrical, mechanical, and plumbing systems and related components from the Work. This may include covering, shoring, bracing, temporary removal/resetting, and relocating.
- F. Clean all areas affected by the Work including trees, shrubs, landscaping, sidewalks, parking lots, walking paths, low roofs, entryways, etc. of all work-related nails, dust and debris. Remove and dispose of all scaffolding, formwork, by-products, and debris associated with the Work. Remove all equipment from the site. Store extra material purchased by the Owner at the Maintenance Yard. Otherwise, dispose of all excess material.
- G. Contractor shall make the Owner aware of any trees, shrubs, landscaping and/or other existing features that need to be trimmed or removed to allow for access to the work area prior to the start of work.
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- J. The contractor will not be held responsible for unavoidable damage to patios, trees, shrubs, and landscaping within 4' of the wall surfaces where work was performed.
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- I. Obtain Owner's written permission before proceeding with utility interruptions.
- J. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.
- K. Notify Owner not less than two days in advance of proposed disruptive operations.
- L. Obtain Owner's permission before proceeding with disruptive operations.
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TERMS AND CONDITIONS

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Recovery Fund Office | DPOR
9960 Mayland Drive, Suite 400
Richmond, VA 23233
(804) 367-1559
E-mail: RecoveryFund@dpur.virginia.gov



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March 7th, 2025

Mr. Francisco Foschi, 1500 Mount Place, Alexandria, VA 22302

TOTAL BASE PRICE: \$141,726.00
Scaffolding: \$39,850.00
TOTAL PRICE: \$181,576.00

Note: G&A General Contractors, LLC. will start the basement design within 2 weeks after acceptance of proposal, and actual work will start within 2 weeks after permit with a duration of approximately three months.

Payment/draw schedule:

50% deposit with signed contract.
30% after completion of project.

Due to current market conditions the above price may change according to material price and availability. Due to the current volatility of the market, expect extended lead times. Price escalators may apply if the project spans a manufacturer's increase.

This proposal is void after 15 days. By signing below, this proposal becomes a binding contract. Please remit a 50% deposit with the signed contract, final payment due at completion.

For G&A General Contractors, LLC.

Date

For Building Owner/Representative

Date

G&A GENERAL CONTRACTORS, LLC.



DESIGN & BUILD

LICENSED & INSURED

CUSTOM HOMES | ADDITIONS | REMODELING | ROOFING

WHY CHOOSE G&A FOR YOUR NEXT ROOFING PROJECT?

CERTIFIED ROOFING EXPERTS:

With over two decades of industry expertise, we bring unparalleled knowledge to every project. Certified installers of DaVinci Roofscapes, Brava Roof Tile, CertainTeed, GAF, Firestone, Metal, TPO and EPDM.

LICENSED AND INSURED:

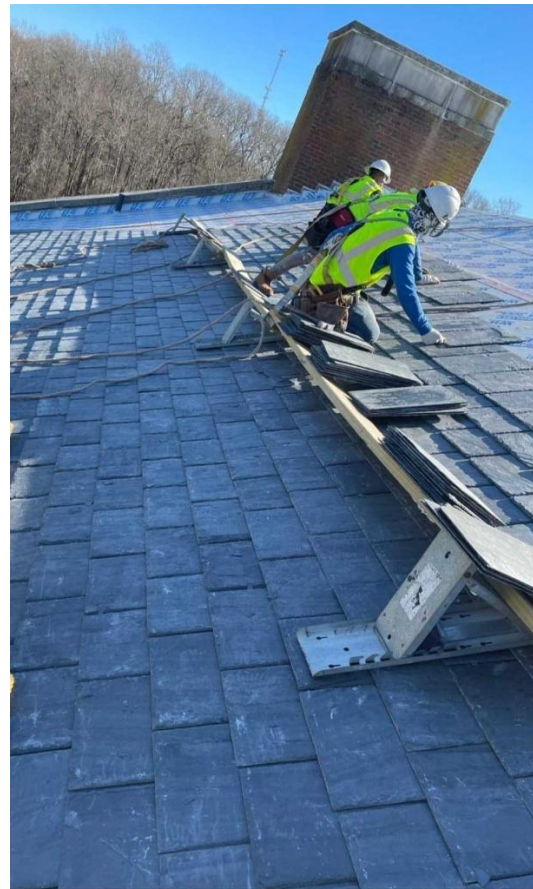
Rest easy knowing your project is in capable hands. G&A General Contractors, LLC. is fully licensed and insured for your peace of mind. We are Class A licensed with an RBC (Residential Building Contractor) Classification. License # 2705187055

TIMELY COMPLETION:


We understand that your time is valuable. That's why G&A General Contractors, LLC. is dedicated to completing your project on time, within budget, and without compromising on quality or craftsmanship.

CUSTOMER SATISFACTION GUARANTEED:

Your satisfaction is our ultimate priority. With G&A General Contractors, LLC. you can trust that your roofing project will exceed your expectations, leaving you with a roof that you'll love for years to come.



CONTACT US

 703-637-3511

 GandAgc.com





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

03/05/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER TRISTATE BUSINESS INSURANCE 10400 EATON PLACE SUITE 320 FAIRFAX VA 22030	CONTACT NAME: Priscila Huidobro PHONE (A/C No. Ext): 703-436-6040 E-MAIL ADDRESS: priscila@tristatebi.com	FAX (A/C, No): 703-273-9390
	INSURER(S) AFFORDING COVERAGE	
INSURED G&A General Contractors LLC 1100 Oakwood Drive Fairfax VA 22030	INSURER A: Evanston Insurance Company	NAIC # 35378
	INSURER B: Accident Fund Insurance	NAIC # 10166
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		X	3AA669829	05/09/2024	05/09/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB OCCUR CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N Y	ARP12005513701	05/10/2024	05/10/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

ParkFairfax Condominium Unit Owners Association 3360 Gunston Rd Alexandria VA 22302-2198	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 03/05/2025 <i>Priscila Huidobro</i>
--	---

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COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation

9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON

12-31-2025

NUMBER

2705187055

BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS RBC



G&A GENERAL CONTRACTORS LLC
11000 OAKWOOD DR
FAIRFAX, VA 22030



Status can be verified at <http://www.dpor.virginia.gov>


Kishore S. Thota, Director



ROOF REPLACEMENT PROJECT 2025



PARKFAIRFAX CONDOMINIUM

Alexandria, Virginia

Presented to:

Mr. Francisco Foschi, CMCA, AMS, PCAM
General Manager
703.998.6315
ffoschi@parkfairfax.org



3856-A Dulles South Court
 Chantilly, VA 20151
 703.817.0200 / Fax: 703.817.1175
 www.katchmark.com
 VA License: 2705-41558A
 MD License: 73744 / 120331
 DC License: GC 70101596 / HI 430006359

PROPOSAL SUBMITTED TO:	WORK TO BE PERFORMED AT:
Mr. Francisco Foschi, CMCA, AMS, PCAM General Manager Parkfairfax Condominium 3360 Gunston Road Alexandria, VA 22302 703.998.6315 / ffoschi@parkfairfax.org / lclark@parkfairfax.org	Building 953 1500 Mount Eagle Place Alexandria, VA 22302 Proposal Date: March 5, 2025

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

ROOF REPLACEMENT WITH LUDOWICI TILE:

1. Remove existing tile roof and inspect slat decking for damage. If found, we will replace as needed with 1 x slats at \$18.00 per linear foot, 3/4" OSB at \$89.00 per sheet and 3/4" CDX plywood at \$95.00 per sheet.
2. Furnish and install new .032 aluminum drip edge along all eaves and rakes.
3. Furnish and install new ice and water shield on all eaves, around all roof penetrations and pipe collars, and in valleys.
4. Supply and install new copper pipe collars, copper step flashing and copper counterflashing.
5. Apply synthetic felt on remainder of roof deck and install new Ludowici Americana 16" flat interlocking roof tile per manufacturer's specifications. Color to be Forest Green Glaze and texture to be Light Pressed Bark. All installers will be factory trained at Ludowici's plant.
6. Furnish and install all necessary scaffolding, overhead protection and lull with bucket equipment to minimize trash.
7. Clean and tighten all existing gutters.
8. Salvage and stack on pallets all intact tiles. Broken tiles will be disposed of.

TOTAL: **\$138,360.00** _____(Initial)

OPTION 1:

Remove and replace existing cupola with roof with new copper roof, all new PVC trim and fill all holes with exterior grade silicone caulking.

TOTAL: **\$ 3,000.00** _____(Initial)

OPTION 2:

Replace existing gutters and downspouts with 6" aluminum gutters and 3" x 4" downspouts **\$ 20.00/LF** _____(Initial)

OPTION 3:

Substitute copper drip edge and fasteners on rakes and fascia in lieu of aluminum.

TOTAL: **\$ 5,052.00** _____(Initial)

Respectfully submitted:
 KATCHMARK CONSTRUCTION

Stephen Katchmark

NOTE: Includes Katchmark's 10-year workmanship warranty and manufacturer's 75-year material warranty.

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner with payments to be made as follows: **Progress payments**. If payment is not received within 15 days from when payment is due, interest shall accrue on the outstanding balance at a rate of 2% per month and Katchmark shall be entitled to all costs of collection, including reasonable attorney fees.

Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays are beyond our control. Owner is to carry fire, tornado and other necessary insurance to cover above work. In the event payment is not made as outlined above, Katchmark Construction will be entitled to recover reasonable attorney's fees in any action between the parties.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date: _____

Signature: _____

Signature: _____



3856-A Dulles South Court
 Chantilly, VA 20151
 703.817.0200 / Fax: 703.817.1175
 www.katchmark.com
 VA License: 2705-41558A
 MD License: 73744 / 120331
 DC License: GC 70101596 / HI 430006359

PROPOSAL SUBMITTED TO:	WORK TO BE PERFORMED AT:
Mr. Francisco Foschi, CMCA, AMS, PCAM General Manager Parkfairfax Condominium 3360 Gunston Road Alexandria, VA 22302 703.998.6315 / ffoschi@parkfairfax.org / lclark@parkfairfax.org	Building 849 3223 Martha Custis Drive Alexandria, VA 22302 Proposal Date: March 5, 2025

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

ROOF REPLACEMENT WITH BRAVA TILES:

1. Remove existing tile roof and inspect slat decking for damage. If found, we will replace as needed with 1 x slats at \$18.00 per linear foot, 3/4" OSB at \$89.00 per sheet and 3/4" CDX plywood at \$95.00 per sheet.
2. Furnish and install new .032 aluminum drip edge along all eaves and rakes.
3. Furnish and install new ice and water shield on all eaves, around all roof penetrations and pipe collars, and in valleys.
4. Supply and install new copper pipe collars, copper step flashing and copper counterflashing.
5. Apply synthetic felt on remainder of roof deck and install new Brava flat tile, custom made for Parkfairfax and will be installed per manufacturer's specifications.
6. Furnish and install all necessary scaffolding, overhead protection and lull with bucket equipment to minimize trash.
7. Clean and tighten all existing gutters.
8. Salvage and stack on pallets all intact tiles. Broken tiles will be disposed of.

TOTAL: **\$95,748.00** _____(Initial)

OPTION 1:

Install 1/2" CDX plywood over slat boards on entire roof.

TOTAL: **\$10,395.00** _____(Initial)

OPTION 2:

Replace existing gutters and downspouts with 6" aluminum gutters and 3" x 4" downspouts

TOTAL: **\$ 20.00/LF** _____(Initial)

OPTION 3:

Substitute copper drip edge and fasteners on rakes and fascia in lieu of aluminum.

TOTAL: **\$ 4,836.00** _____(Initial)

Respectfully submitted:
 KATCHMARK CONSTRUCTION

Stephen Katchmark

NOTE: Includes Katchmark's 10-year workmanship warranty and manufacturer's 50-year material warranty.

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner with payments to be made as follows: **Progress payments.** If payment is not received within 15 days from when payment is due, interest shall accrue on the outstanding balance at a rate of 2% per month and Katchmark shall be entitled to all costs of collection, including reasonable attorney fees.

Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays are beyond our control. Owner is to carry fire, tornado and other necessary insurance to cover above work. In the event payment is not made as outlined above, Katchmark Construction will be entitled to recover reasonable attorney's fees in any action between the parties.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date: _____

Signature: _____

Signature: _____



PARKFAIRFAX CONDOMINIUM

TENTATIVE PROJECT SCHEDULE

BLDG #	ADDRESS	APRIL										MAY				
		WEEK OF					WEEK OF					WEEK OF				
		14-Apr					21-Apr					28-Apr				
		14	15	16	17	18	21	22	23	24	25	28	29	30	1	2
849	3223 MARTHA CUSTIS DRIVE															
	- Mobilization/Delivery/Staging															
	- Demo and install per section															
	- Demobilize and Punch List															

NOTE: SCHEDULE IS TENTATIVE AND IS SUBJECT TO CHANGE DUE TO WEATHER AND/OR UNFORESEEN CONDITIONS



PARKFAIRFAX CONDOMINIUM

TENTATIVE PROJECT SCHEDULE FOR BUILDING 953

BLDG #	ADDRESS	SEPTEMBER																		OCTOBER																
		WEEK OF					WEEK OF					WEEK OF					WEEK OF					WEEK OF					WEEK OF									
		1-Sep					8-Sep					15-Sep					22-Sep					29-Sep					6-Oct					13-Oct				
		1	2	3	4	5	8	9	10	11	12	15	16	17	18	19	22	23	24	25	26	29	30	1	2	3	6	7	8	9	10	13	14	15	16	17
953	1500 MOUNT EAGLE PLACE																																			
	- Mobilization/Delivery/Staging																																			
	- Demo and install per section																																			
	- Demobilize and Punch List																																			

NOTE: SCHEDULE IS TENTATIVE AND IS SUBJECT TO CHANGE DUE TO WEATHER AND/OR UNFORESEEN CONDITIONS

PARKFAIRFAX CONDOMINIUM



Alexandria, Virginia

After 36 plus years of performing commercial and residential work, we've developed an excellent reputation. That's because we're committed to building and maintaining valued relationships with our clients, serving your needs with consideration for your budget and schedule requirements. Property managers and building owners are pleasantly surprised by the breadth of Katchmark's services, from roofing to trash removal.



Our goal is to help you solve your property's needs, and to support the Property Manager. Ultimately, making their job during construction, less demanding!

For over ten years, Katchmark Construction has been handling all of the roofing and gutter needs for our 618-unit condominium community. During that time, we have found the crews and support staff to be extremely knowledgeable, prompt, and professional. Each project, from routine gutter cleaning to the replacement of 206 roofs, is thoughtfully planned and well executed. In the rare event that there is an issue, Katchmark is responsive and quick to correct the concern.

It is rare to find contractors that you can count on; Katchmark Construction has earned our trust through many years of expert service.

Brooke Arcia, CMCA, AMS
Property Manager, Meadows Condominiums





Why Katchmark?

- Serving Commercial and Residential customers throughout the Washington D.C. Metropolitan area since 1988.
- Class 'A' Licensed contractor, insured with references provided.
- An A+ member of the Better Business Bureau, the Northern Virginia Building Industry Association, and the National Roofing Contractors Association.
- GAF Master Elite Contractor since 1998 & CertainTeed Shingle Master since 2007.
- Consumer Checkbook approved and rated for quality.
- Angie's List Super Service Award winner since 2007.
- Featured 2 times in *Washingtonian Magazine* as a "Top Rate Roofer"
- A staff of over 100 and a fleet of over 50 vehicles to provide quick, friendly, and efficient customer service.
- All of our foremen are trained, using the Quality Assurance Roofing Education Program, and receive extensive training in the latest roof installation techniques.
- Provide clients with a daily field report and pictures using Raken, a construction project management software.
- Katchmark Construction, a Tecta America Company, is ranked #1 in *Roofing Contractor Magazine*, "Top 100 Roofing Contractors."
- Katchmark employs a third-party safety consultant, *First Line Safety* to conduct 3-4 random monthly safety inspections assuring we are compliant.
- Katchmark owns and operates a roll-off truck, to assist our customers with trash removal and transport.





A  TECTA AMERICA COMPANY, LLC

3856-A Dulles South Court
Chantilly, VA 20151
703.817.0200
www.katchmark.com

CERTIFICATE OF WARRANTY COVERAGE

This certificate certifies that Katchmark Construction, a Tecta America Co., LLC has performed the following work at the address listed below:

Property Address
Building Address
City, State & Zip Code

Type of Warranty: 10-year workmanship

Completion Date: xx/xx/xx

TERMS & CONDITIONS

Contractor warrants that work has been performed in accordance with the terms of the Subcontract Agreement and shall be free of defects for the period of **Ten (10) years** from the date of completion. This warranty shall be void in the event of damage, defect or improper maintenance or modifications caused by the Customer or third parties or due to acts of God such as hail, tornadoes, or other severe weather. At a minimum as part of proper maintenance to the warranty, Customer shall have all gutters cleaned at least four times a year and the roofing inspected two times a year. THE ONLY EXPRESS WARRANTY IS THAT SET FORTH IN THE FIRST SENTENCE OF THE PARAGRAPH. CONTRACTOR MAKES NO WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE NOR DOES THE CONTRACTOR MAKE ANY IMPLIED OR STATUTORY WARRANTIES OF ANY KIND. CONTRACTOR SHALL NOT BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES AND CONTRACTOR'S MAXIMUM LIABILITY TO CUSTOMER FOR ANY CLAIM(S) SHALL NOT EXCEED THE CONTRACT PRICE HEREUNDER.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/27/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER HUB International Midwest Limited 1411 Opus Place, Suite 450 Downers Grove IL 60515	CONTACT NAME: CSU Construction PHONE (A/C. No. Ext): 630-468-5600 E-MAIL ADDRESS: CSUConstruction@hubinternational.com		FAX (A/C. No):	
	INSURER(S) AFFORDING COVERAGE			
INSURED Katchmark Construction, A Tecta America Company LLC 3856-A Dulles South Ct Chantilly VA 20151	TECTAME-01	INSURER A: Liberty Mutual Fire Insurance Company		23035
		INSURER B: LM Insurance Corporation		33600
		INSURER C: Navigators Insurance Company		42307
		INSURER D: Starr Indemnity and Liability		38318
		INSURER E: Tokio Marine Specialty Insurance Company		23850
		INSURER F:		

COVERAGES

CERTIFICATE NUMBER: 1251497817

REVISION NUMBER:

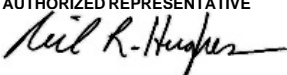
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER:			EB2-641-435487-43	3/31/2024	3/31/2025	EACH OCCURRENCE	\$ 3,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000
							MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 3,000,000
							GENERAL AGGREGATE	\$ 6,000,000
							PRODUCTS - COMP/OP AGG	\$ 6,000,000
								\$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			AS2-641-435487-44	3/31/2024	3/31/2025	COMBINED SINGLE LIMIT (Ea accident)	\$ 5,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
C D	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 0			LA24EXCZ04Q52IV 1000586973241	3/31/2024 3/31/2024	3/31/2025 3/31/2025	EACH OCCURRENCE	\$ 13,000,000
							AGGREGATE	\$ 13,000,000
								\$
B B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	WA5-64D-435487-394 WC5-641-435487-414	3/31/2024 3/31/2024	3/31/2025 3/31/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER	
							E.L. EACH ACCIDENT	\$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
E	Poll w/Mold & Prof Liab			PPK2669694	3/31/2024	3/31/2025	Limit/Aggregate Poll SIR Per Incident Prof SIR Per Claim	\$ 5,000,000 \$ 100,000 \$ 100,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Leased/Rented Equipment Coverage; Carrier: Travelers Property Casualty Co. of Am.; NAIC #: 25674; Policy# QT-630-0T985565; Eff Date: 3/31/2024 to 3/31/2025; Limit: \$2,500,000; Deductible: \$25,000, except Flood Deductible: \$100,000; except \$500,000 Flood Zone A; Quake Deductible: \$100,000; except 2% min \$250,000 for California and Washington State.

This certificate shows coverages currently in force for the above named insured, and is for internal use only. If a certificate holder needs to be added you can provide us your information, by visiting our website at <https://www.preferins.com/certificate-insurance/>, Email it to: certs@preferins.com or it can be Fax to: 703-991-4838

CERTIFICATE HOLDER**CANCELLATION**

Proof of Insurance	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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AMERICANA 16" INTERLOCKING TILE



Part of the Legacy Collection, Americana 16" tile features a **lightly pressed bark texture** and a gently rounded butt. Reminiscent of weathered wood shake, Americana interlocking tile provides a refined yet rustic look to complement a variety of architectural styles. The larger profile means fewer pieces per square and a more economical installation. Americana is also available in a smaller 14" profile. Americana interlocking tiles are available in all standard and custom colors, mists and blends offered by Ludowici. See the *Colors of Ludowici* brochure for more information about our extensive color program.

PHYSICAL CHARACTERISTICS

CHARACTERISTIC	AMERICANA 16" INTERLOCKING TILE	PROFILE
Weight Per Square	750 lbs.	
Pieces Per Square	109 pcs.	
Overall Size	10 3/4" x 16" x 7/8"	
Exposure	10 1/8" x 13" x 7/8"	
Minimum Slope	3:12	
Color Blends	Available in all standard and custom colors. For more information about Ludowici's color program, please see the <i>Colors of Ludowici</i> brochure.	
Base Texture	Lightly Pressed Bark Also available in custom textures.* Please see the <i>Terra Cotta Textures</i> brochure for more information.	

APPROVALS & CERTIFICATIONS

- ◆ Miami-Dade NOA No: 13-0430.08
- ◆ State of Florida Approval No: FL 13777
- ◆ ASTM C1167 Grade 1 Roof Tile With Water Absorption Less Than 2%
- ◆ Class A Fire Rated
- ◆ IAPMO UES ER-452

LUDOWICI WARRANTY

All Ludowici tiles are manufactured in the United States and carry a 75-year warranty against color fading and manufacturing defects. For complete warranty details, please visit www.ludowici.com.



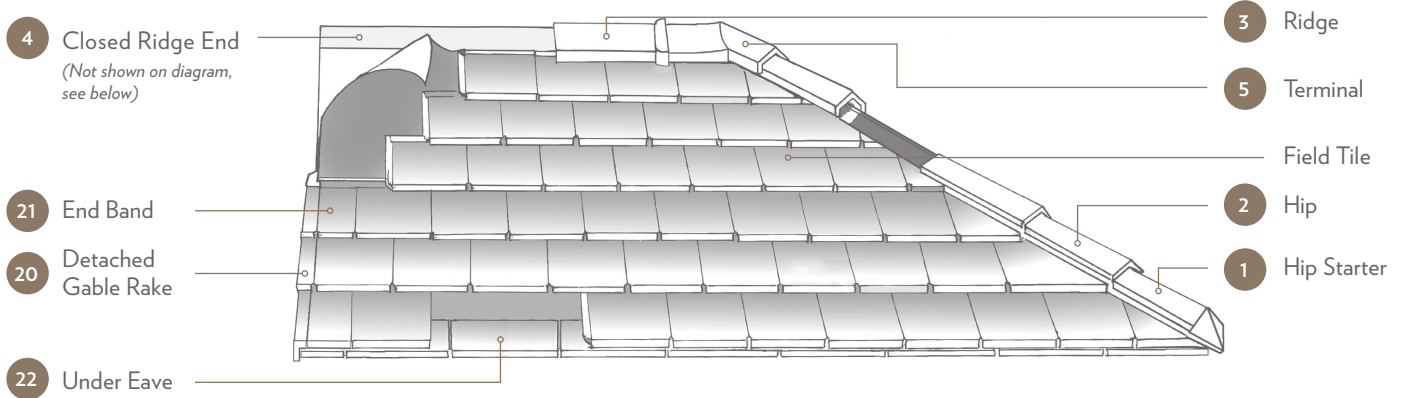
GREEN ATTRIBUTES

Ludowici terra cotta is an energy-efficient, sustainable choice for your new roof. Learn more about our green story in the Ludowici *Green Promise* brochure.



* Textures available include brushed butt, battered butt and top sand. Similar tile profiles available in additional textures. Please see a sales representative for more details. Photos are for representation purposes only and should not be used for final product selection. Tiles ordered should be chosen from actual samples available at the time of order. Ludowici reserves the right to alter and adjust products, colors and finishes at any time. Please contact a sales representative for more information.

AMERICANA 16" INTERLOCKING TILE



HIP & RIDGE							
Visit www.ludowici.com to download a detailed product sheet on Hip, Ridge and Decorative Hip Starters.							
PROFILE	1 HIP STARTER	2 HIP	3 RIDGE	4 CLOSED RIDGE END	5 TERMINAL		
V-Hip & Ridge Trim Group	V-Hip Starter	V-Hip	V-Ridge	V-Closed Ridge End	V-2 Hip	1 Ridge Terminal	
#118/#211 Hip & Ridge Trim Group	#168 Hip Starter	#118 Hip Roll	#211 Ridge	#211 Closed Ridge End	#118/#211	2 Hip 1 Ridge Terminal	
Circular Cover Hip & Ridge Trim Group	CC-Hip Starter	CC-Hip	CC-Ridge	CC-Closed Ridge End	CC-2 Hip	1 Ridge Terminal	CC-Low Bump 2 Hip 1 Ridge Terminal
#102/#206 Hip & Ridge Trim Group	#152 Hip Starter	#102 Hip Roll	#206 Ridge	#206 Closed Ridge End	#102/#206	2 Hip 1 Ridge Terminal	#405 High Bump 2 Hip 1 Ridge Terminal #406 High Bump Gable Terminal

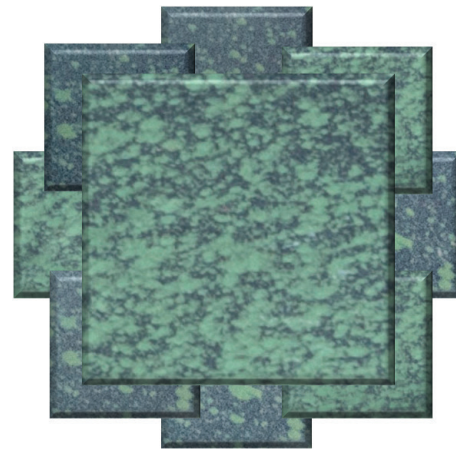
FITTINGS				
PROFILE	20 DETACHED GABLE RAKE		21 END BAND	22 UNDER EAVE
	Left Rake	Right Rake		
Length	16"		16"	12"
Exposure	13"		13"	12"
Weight	2.8 lbs./pc.		5.5 lbs./pc.	2.3 lbs./pc.



FOREST GREEN BLEND M11/M9 SPOT

Ludowici colors are not painted on the surface, but fired in under extreme temperatures to ensure they retain their original tones and hues for many years to come. Color is included in our 75-year material warranty.

For more information on Ludowici colors, please see the *Art and Science of Ludowici Color* on the back of this card.



Patial representation of expected color range shown.

Creating the color of a terra cotta roof tile is part science and part art. There is always a range of tones within any given color. It is impossible to produce a monochromatic terra cotta roof tile.

In most cases, color is applied by spraying the surface of wet tile with glaze (a mixture of glass frit, silicas and pigments) prior to firing. At kiln temperatures over 2000 degrees Fahrenheit, the spray components fuse onto the surface, becoming an integral part of the tile itself.

Some colors are made from a two-step process involving a base coat and overspray. These colors will naturally display a broader range in tones as the overspray varies in its coverage of the base coat. A broad range will also be produced with colors utilizing high iron content.

- The variation of tones within a selected color is affected by many production factors including:
- Temperature variations in the kiln;
- Position of each tile in the kiln;
- Spray patterns and resulting coverage; and
- Subtle natural differences in clay, pigment and frit composition.

The range of tones that arise from the manufacturing process is a normal and very desirable feature of natural clay tile, imparting richness, character and a more dimensional appearance to the roof. Variation in tones should never be considered a defect or flaw. The range of colors produced may vary with each firing process.

Leaded Glazes

Recognizing that leaded glazes represent a serious and real threat to the safety of workers and the environment, Ludowici discontinued their use many years ago. Clay tile roofs found on historic buildings often used leaded glazes and matching those colors using today's non-leaded glazes is virtually impossible as the tile color is profoundly impacted by glaze chemistry. While exact color match is not possible, rest assured that Ludowici's custom color development team will make the closest match possible.

Blending Colors

Color blending, wherein several different colors of terra cotta roof tile are mixed on a roof (such as red, brown and gold), provides the designer or architect an opportunity to create a subtle or dramatic, one-of-a-kind design statement. Diamond or other geometric patterns can also be created.

Ludowici technical service specialists can assist in estimating the amounts of tile needed from design renderings. In addition, we can provide information on blends from previous orders for comparative purposes or for artistic inspiration. When working with blends pay careful attention to fittings. They can be produced entirely in one color or reflect the percentages of colors in the blend.

In addition, Ludowici design specialists highly recommend constructing a test patch of no less than 50 tiles as a final check prior to ordering. As with all shipments of Ludowici tile, contractors must take care when loading the roof with a blend of colors so that mix and percentages of color are uniformly maintained.

Enduring Color

As our color is fired in and chemically bonded with the tile substrate, Ludowici terra cotta roof tiles will not lose their original intensity or color under normal environmental conditions. Natural clay red (unglazed) tile ages minimally too. And unlike some hard roofing products, the surface of Ludowici tile will never become marred by unsightly white salt deposits (efflorescence).

However, in areas subject to pollution, especially those with acid rain, the surface of the tiles may become weathered or subject to deposits that can slightly alter color over time. Matte finishes are more susceptible than high-gloss finishes.

Ludowici color is so durable that colorfastness is included in our 75-year material warranty. *See warranty documents for specific details and limitations.*



Brava Old World Slate



Brava Old World Slate Light Arendale



Brava Old World Slate Onyx



Brava Old World Slate Charcoal



Brava Old World Slate Atlantic

Beautifully authentic high-performance roofing.

The beautiful look of a slate roof without the maintenance.

Truly realistic

Our proprietary process creates the most authentic-looking old world slate on the market.

Superior performance

Brava is designed to withstand even the most severe weather, boasting the highest hail resistance rating in the industry.

Enhanced curb appeal

Curb appeal directly correlates with owner satisfaction and higher property value.

Maintenance free

Brava's proprietary formulation ensures extreme durability.

Color technology

Brava's proprietary multi-coloring process means you get the authentic appearance of a natural product, complete with variegated colors throughout the entire product.

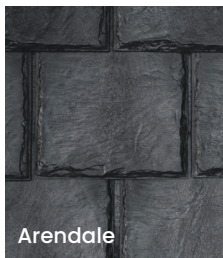
Fully sustainable

Brava uses recycled material to create a roof that is fully recyclable.

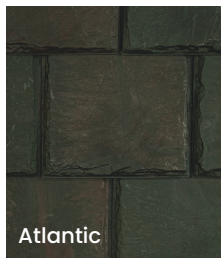
Complete

Brava offers a complete line of accessory tiles.

Unparalleled Performance



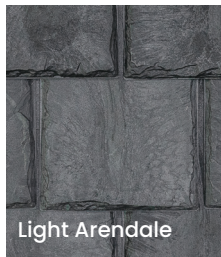
Arendale



Atlantic



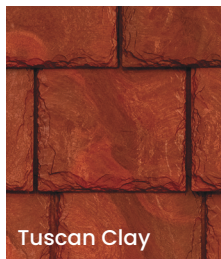
Cottage



Light Arendale



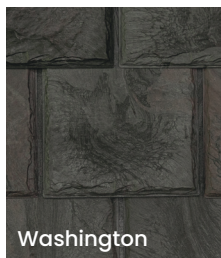
Onyx



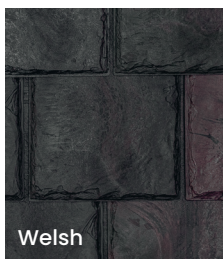
Tuscan Clay



Victorian



Washington



Welsh

Description	Weight	Dimensions
6" Field Tile	1.4 lbs.	6" x 22"
9" Field Tile	1.8 lbs.	9" x 22"
12" Field Tile	2.7 lbs.	12" x 22"
Starter	1.6 lbs.	12" x 12"
Hip & Ridge	2.0 lbs.	5 5/8" x 6" x 16"
Solid Multi-Width Accessory	4.5 lbs.	12" x 22 7/8"
Weight Per Square		311 lbs./sq.

Aesthetics	Brava Old World Slate	Natural Slate
Authentic Look	✓	✓
1" Thickness	✓	✓
Multi-Colored Variegated	✓	Only the most expensive
Solid Accessories for Realistic Installation	✓	✓

Performance	Brava Old World Slate	Natural Slate
Fire Retardant: Class A or Class C	✓	✓
Wind Resistance: 188+ mph*	✓	✓
Impact Resistance: Class 4	✓	Varies by product
Freeze/Thaw Resistant	✓	May spall in alpine regions
Maintenance Free	✓	Requires inspection and repair throughout the life cycle
Colorfast	✓	Only some varieties
Hail Warrantied	✓	

Installation	Brava Old World Slate	Natural Slate
Lightweight	✓	
Estimated Waste Factor	Low	High; slates with hairline cracks or broken during install will be discarded
Gun Nailed in Cold Weather	✓	



Class 4 hail rating



Class A fire rating available



Made in USA



*Brava tiles are tested and approved to withstand wind speeds of up to 188 mph with nails and up to 211 mph with high wind / screw installation.

Tolerances +or- 1/2". All specifications subject to change without notice.

The printed colors shown may vary from actual colors. Before making a final selection, be sure to review actual material samples and roof installations. Please contact your salesperson for further assistance.

In order to achieve certain fire and wind ratings, special installation instructions may be required. Please reference Brava Roof Tile installation manuals at www.BravaRoofTile.com for more details.

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation

9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON

08-31-2024

NUMBER

2705045188

BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS CIC HIC



KATCHMARK CONSTRUCTION INC
3856 A DULLES SOUTH CT
CHANTILLY, VA 20151



Demetrios J. Mella
Demetrios J. Mella, Director

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

DPOR-LIC (02/2017)



COMMONWEALTH of VIRGINIA
Department of Professional and Occupational Regulation

CLASS A BOARD FOR CONTRACTORS
CONTRACTOR

CLASSIFICATIONS CIC HIC
NUMBER: 2705045188 EXPIRES: 08-31-2024

KATCHMARK CONSTRUCTION INC
3856 A DULLES SOUTH CT
CHANTILLY, VA 20151



(FOLD)

Status can be verified at <http://www.dpor.virginia.gov>

DPOR-PC (02/2017)

(DETACH HERE)



ROOFING SPECIFICATION MANUAL

FOR



1500 Mt. Eagle Place

&

3223 Martha Custis Drive

Alexandria, VA 22302

(703) 717-1305 Cell

SUBMITTED BY:

Garrett Girouard

Sales Manager

DATE:

March 7, 2025



March 7, 2025

Dear Parkfairfax,

Thank you for taking the time to meet with me and discuss ideas to re-roof your home. I would briefly like to tell you about Maggio Roofing Co., and why you will want to choose us for your roofing project.

Maggio Roofing Co. provides \$1,000,000.00 of liability insurance per occurrence, and \$2,000,000.00 aggregate. All of our employees are covered by Workers Compensation Insurance so that you will not be exposed to any liability should any of our employees be injured while on your job. We are licensed with the District of Columbia, Maryland and Virginia for your protection.

- We are members of Certified Contractors Network (CCN)
- We are members of National Roofing Contractors Association (NRCA)
- We are members of the Mid Atlantic Roofing Contractors Association. (MARCA)

As a legitimate and dependable roofing company, we maintain these affiliations and credentials to provide you with the highest level of confidence and customer service. We are registered, licensed and approved with many manufacturers for the installations of premium roofing products.

- Our estimators are Quality Masters – knowledgeable in product differences and quality.
- Our roof mechanics are qualified Master Shingle Applicators (MSA), and attend pre-approved on-going training to keep them up to date on the latest technological advances in the roofing industry including the local building codes and the NRCA specifications.
- We have an in-house NRCA certified trainer.

With a permanent place of business and over 19 years in the roofing trade, we take pride in our quality workmanship and the specialty services offered to our clients.

All of our projects are specified in accordance with industry standards and manufacturers specification requirements. This ensures that your project will qualify for the manufacturer's long-term warranty.

We do it right – we do it by the book – or we don't do it at all.

Thank you again for the opportunity and I look forward to working with you on this project.

In your service,

Garrett Girouard
Project Consultant
(301) 891-1390 Office
(301) 346-6070 Cell



CERTIFICATE OF LIABILITY INSURANCE

DATE (MMDDYYYY)
1/2/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER NFP Property & Casualty Services, Inc. 1 North Street Onancock VA 23417	CONTACT NAME: Erin Miller PHONE (A/C, Ho, Ext): 301-628-4113 FAX (A/C, No): 301-628-4001 E-MAIL ADDRESS: erin.miller@nfp.com														
INSURED Jamsco, Inc. T/A Maggio Roofing & Maggio Solar 6476 Silgo Mill Road Takoma Park MD 20912-4703	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: left;">NAIC #</th> </tr> <tr> <td>INSURER A: Firstline Insurance Company</td> <td>40100</td> </tr> <tr> <td>INSURER B: Chesapeake Employers' Insurance Company</td> <td>11039</td> </tr> <tr> <td>INSURER C: Zurich American Insurance Company</td> <td>16535</td> </tr> <tr> <td>INSURER D: Selective Insurance Co of the Southeast</td> <td>39926</td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Firstline Insurance Company	40100	INSURER B: Chesapeake Employers' Insurance Company	11039	INSURER C: Zurich American Insurance Company	16535	INSURER D: Selective Insurance Co of the Southeast	39926	INSURER E:		INSURER F:	
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COVERAGES**CERTIFICATE NUMBER: 215719295****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL. SUPP. (MSD, WVD)	POLICY NUMBER	POLICY EFF. (MMDD/YYYY)	POLICY EXP. (MMDD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		MP10682029	12/31/2024	12/31/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ex. occurrence) \$ 100,000 MED. EXP. (Any one person) \$ 5,000 PERSONAL & ADV. INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPOP AGG \$ 2,000,000 Employee Benefits \$ 1,000,000 COMBINED SINGLE LIMIT (Ex. accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
D	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HERED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY		S 2331146	5/3/2024	5/3/2025	EACH OCCURRENCE \$ AGGREGATE \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
B C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> N/A	4242009 WC1105547-08	5/4/2024 5/4/2024	5/4/2025 5/4/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - SA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	Property Section		MP10682029	12/31/2024	12/31/2025	Contents Deductible \$120,000 \$1,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Officer Excluded from Workers Compensation: Scott Siegal
 Verification of Insurance.

CERTIFICATE HOLDER Jamsco, Inc. T/A Maggio Roofing & Maggio Solar 6476 Silgo Mill Road Takoma Park MD 20912-4703	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--

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COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation
9960 Mayland Drive, Suite 400, Richmond, VA 23233
Telephone: (804) 367-8500

EXPIRES ON
04-30-2026

NUMBER
2705056017

BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS CIC HIC



JAMSCO INC
6476 SLIGO MILL RD
TAKOMA PARK, MD 20912



Kelvin S. Selt
Secretary

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

DPOR-LIC (02/2017)

(DETACH HERE)



COMMONWEALTH of VIRGINIA
Department of Professional and Occupational Regulation

CLASS A BOARD FOR CONTRACTORS
CONTRACTOR

CLASSIFICATIONS CIC HIC
NUMBER: 2705056017 EXPIRES: 04-30-2026

JAMSCO INC
6476 SLIGO MILL RD
TAKOMA PARK, MD 20912



(FOLIO)

Status can be verified at <http://www.dpor.virginia.gov>

DPOR-PC (02/2017)



2024 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 <http://www.alexandriava.gov/>

License Number: 142685-2024
Account Number: 142685
Tax Period: 2024
Business Name: Jamsco, Inc
Trade Name: Jamsco, Inc
Business Location: No City Address
Takoma Park, MD 20912

Jamsco, Inc
6476 Sligo Mill Rd
Takoma Park, MD 20912

License Classification(s):
Out of State Contractor
0-000-000
Out of State Contractor

March 4, 2024

Dear Taxpayer:

This is your 2024 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit <http://www.alexandriava.gov/> or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314



License Number: 142685-2024
Account Number: 142685
Tax Period: 2024
Business Name: Jamsco, Inc
Trade Name: Jamsco, Inc
Business Location: No City Address
Takoma Park, MD 20912

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

Jamsco, Inc
No City Address
Takoma Park, MD 20912

License Classification(s): Out of State Contractor
0-000-000
Out of State Contractor



PROPOSAL:

ROOF INSTALLATION WITH COMPREHENSIVE WORKER'S COMPENSATION AND CONTRACTOR'S LIABILITY INSURANCE, PROPERTY PROTECTION, 2011 FALL PROTECTION SAFETY COMPLIANCE, ROOF PREPARATION, RIGID ROOF INSULATION, CUSTOMIZED ONE PLY OF ELVALOY MEMBRANE, PERIMETER METAL EDGE FLASHING, PIPE COLLARS, WALL FLASHINGS AND WALL COPINGS.

ROOF PREPARATION, ICE AND WATER SHIELD, PERIMETER METAL EDGE FLASHING, VALLEY FLASHING SYSTEM, PERPENDICULAR FLASHING, PIPE FLASHING, CHIMNEY FLASHING, SHINGLE INSTALLATION, AND PASSIVE VENTILATION SYSTEM.

THIS PROJECT HAS BEEN SPECIFIED IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER SPECIFICATION REQUIREMENTS. ALL WORK WILL BE INSTALLED BY CERTIFIED CRAFTSMEN TO ASSURE QUALIFICATION FOR THE MANUFACTURERS LONG TERM ROOFING WARRANTY.

INSURANCE:

ALL WORK INVOLVED WITHIN THE FOLLOWING PROPOSAL IS COVERED BY WORKMEN'S COMPENSATION, PROPERTY DAMAGE AND PRODUCT LIABILITY.

GENERAL SECIFICATIONS:

1. At the end of each day, the working area will be made watertight to protect the building from **normal** weather conditions.
2. The work area will be cleaned of all roofing debris during and broom cleaned after job completion.
3. The work area will be magnetically swept to pick-up any left over nails after job completion.
4. All gutters pertaining to the work area will be cleaned of all debris after job completion.
5. All work performed by Maggio Roofing will be in accordance with manufacturer's recommendations and guidelines set by the National Roofing Contractors Association (NRCA) and the local building codes.
6. Maggio Roofing offers to its customers life-time workmanship warranty (on certain roof systems) to supplement any applicable manufacturers warranty programs

We at Maggio Roofing understand that for most people this may be your first experience with roofing your home. With that in mind, we want to offer you this list of "what to expect" during your roofing project. We hope this will help to avoid any confusion or problems before, during and after we arrive to complete your project.

WHAT TO EXPECT DURING YOUR ROOFING PROJECT & JOB SITE PREPERATION:

Maggio Roofing "Property Protection Measures" will be implemented throughout the job.

1. Upon the start of the job (unless other arrangements are agreed upon), we will place a job site yard sign on your property and request that it stay for a period of thirty days after completion of your project. This is our best form of advertising as we are proud to display the quality workmanship we instill in every roofing project we complete.
2. Maggio Roofing may require the full use of your driveway during the course of your roofing project. Extra charges will be assessed if use of the driveway is not permitted prior to or during the course of the job. It will also be necessary to have access to an external electrical power source.
3. Maggio Roofing will make every attempt to protect the siding, windows, doorways, porches, decks, patios, and surrounding grounds and shrubbery with tarps and/or plywood. Due to the large amount of debris being removed, there are times when damage may occur. If there is a particular tree or bush that you wish to protect, please note below under "special requests" prior to the start of your project. However, Maggio Roofing will not be held responsible for damage to landscaping.
4. Maggio Roofing recommends that prior to start of the job that you remove or secure all fragile or irreplaceable items on walls and ceilings that could be disturbed or damaged during the job. Maggio Roofing cannot be held responsible for damage to said items.
5. Maggio Roofing recommends that if you have any contents in your attic or garage ceiling that you cover them with a tarp or plastic. If your garage does not have a ceiling, please remove vehicles or cover them so debris does not damage them. We cannot be responsible for cleaning of attics after removing the shingles. If you would like us to provide this service please inform us before approving this proposal so we can take the necessary actions.
6. Maggio Roofing will make every attempt to protect the gutters, downspouts, awnings and trim from damage by removal of the old roofing materials. Please be aware that there may be times when minor damage or marring may occur as we cannot guarantee it will not. There are times when siding, awnings, wood or aluminum trim or gutters may need to be removed to continue the roof work required. Should we be required to remove and/or replace said items, there will be an extra time & material charge as per our standard printed labor charges.
7. If we are removing solar panels or power vents, homeowner must have all interior electrical connections and venting disconnected prior to start of job.
8. Maggio Roofing will remove and/or replace antennas, cables, satellite dishes, cupolas, and any other electronic devices to accommodate continuation of the scope of work contracted. We cannot be held responsible for operating condition or damage to said items after replacement. Television or satellite reception, all cabling, wiring and hardware are the responsibility of the homeowner.
9. Maggio Roofing will not be held responsible for poor appearance or damage due to a pre-existing condition. Examples of such conditions would be: gaps in siding due to multiple layers of roofing being removed, damage to siding due to improper flashing work prior to job, etc. We cannot be held responsible for nail pops in drywall or ceilings due to normal roof application during the course of the job.

SLATE / SHINGLE REMOVAL:

Maggio Roofing will remove and dispose of (2) layer of existing roofing down to the roof deck. If it is determined at the time of roof removal that there are additional layers of existing roof that need to be removed, a change order for the additional amount to remove the layers will be provided to the homeowner for approval.

Maggio Roofing will also remove the existing flashings, vents and pipe flashings on roof.

DECK PREPERATION:

The roof deck is the structural surface over which the roofing materials are applied. The roof deck should be a smooth, solid surface, which will permit the slates to be securely fastened. The roof deck should be at least 7/16" thick OSB, 1/2" thick plywood or nominal 1" thick wood deck, not more than 6" wide. The deck must be strong enough to:

- Support the roofing materials and our workers.
- Safely resist impact loads, such as a bundle of shingles.
- Provide resistance to wind force.
- Anchor the nails.



If you apply a slate roof over a deck surface that is unacceptable to the manufacturer, and damage results, the warranty may not be honored. The manufacturer will not take the responsibility for:

- Poor deck design that causes damage to the roofing system or other parts of the house.
- Defects or damage caused by the materials used as a roofing base, over which the shingles are applied.
- Damage to the slates caused by settlement, distortion, failure, or cracking of the roof deck.
- Defects, damage or failure caused by the application of the shingles not in strict adherence within written instructions of the manufacturer.
- Application over wood that has hard projections, such as partially driven nails, which can cause damage to the shingles or underlayment applied above.

Maggio Roofing will:

- 1. Inspect entire roof deck before the installation of the new roof, re-nail protruding roof nails and clean the roof deck to allow for a smooth surface for the installation of the new roof.**
- 2. Replace rotted or damaged roof/fascia boards at the published price sheet rate.**
- 3. Replace rotted or damaged CDX plywood or OSB at the price sheet rate.**
- 4. Any replacement of rotted/damaged framing or finishing lumber will be written as a "Change Order" request. These change orders will be priced based on the published price sheet and will be billed according to the job specifications of that contract. All change orders must be signed by the homeowner.**

UNDERLAYMENT:

Underlayment shall consist of one (1) layer of roofing membrane secured to the roof deck.

Shingle underlayment, also called felt paper is available in several grades. Typical builder grade underlayment is commonly known as #15 or #30. This name no longer reflects the product's weight. Underlayments are water resistant to some degree, depending on the percentage of asphalt that has been absorbed into the felt or fiberglass mat. The best underlayments adhere to ASTM standards. The standards are ASTM D2889 for #15 underlayment and ASTM D226 for #30 underlayment. The installation of standard underlayment is required by most shingle manufacturers and recommended by all. Shingle underlayment is required by Underwriters Laboratories (UL) for a Class A fire rating. This type of felt is no longer something that we recommend.

Superior quality roof deck protection should protect your home by providing a critical extra layer of protection between your shingles and your roof deck. It helps prevent wind-driven rain (or water from other sources) from infiltrating under your shingles and causing damage to your roof structure, or to the inside of your home. In addition, a superior quality roof deck protection will:

- Help reduce damaging moisture that can become trapped on your roof deck.
- Provide longer-lasting leak protection than conventional "felts" (which can rot or become brittle before your shingles reach their useful life).
- Help your shingles lay flat and uniform, for a better-looking finished roof

Builder Grade "Felt"



Professional Grade



Upgraded Builder Grade

SHINGLE-MATE
ROOF DECK PROTECTION



Premium Grade

DECK-ARMOR
PREMIUM "BREATHABLE" ROOF DECK PROTECTION



PERIMETER EDGE FLASHING:

Eave D-Metal Edge Flashing:

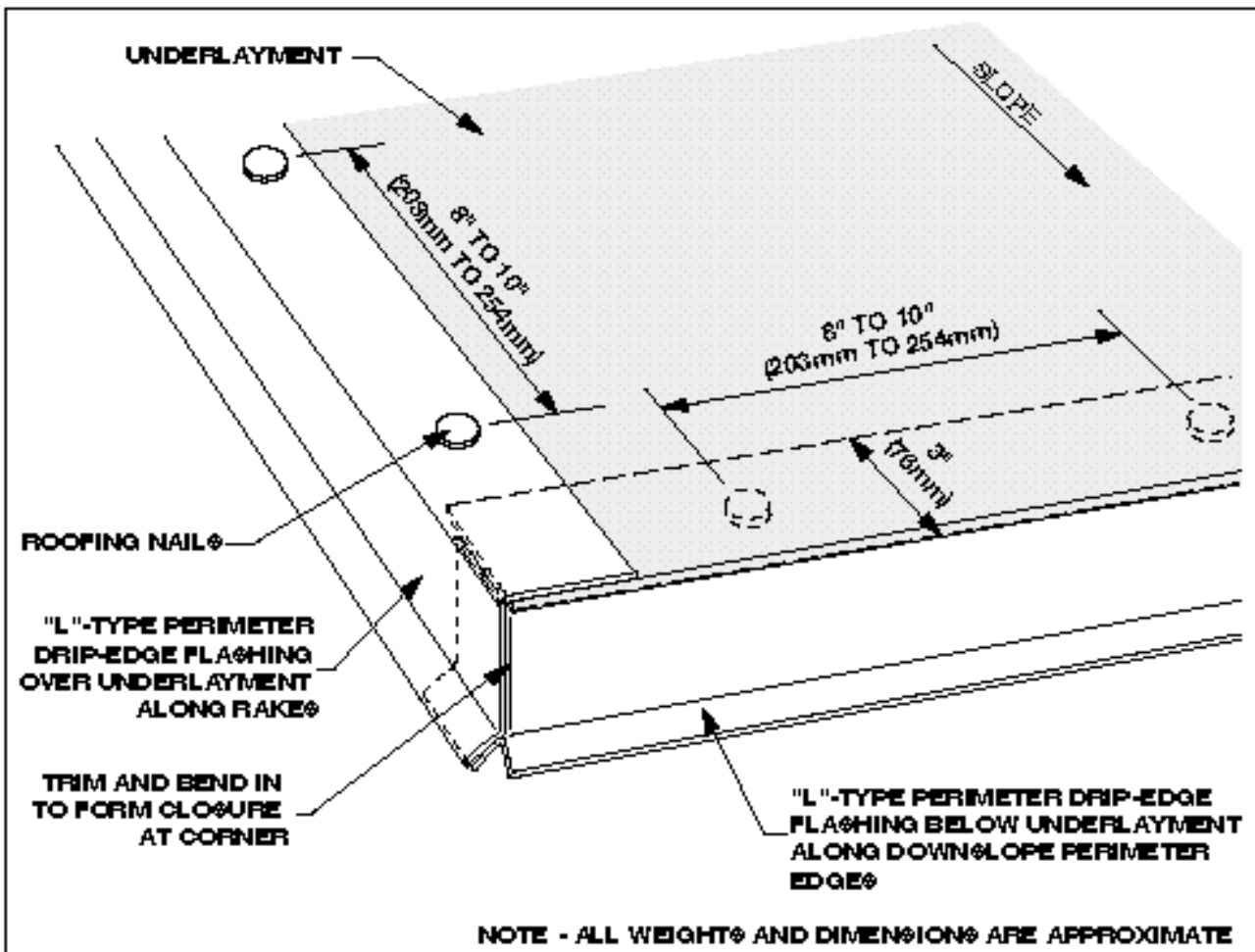
Install aluminum drip edge on all eave edges beneath underlayment to facilitate water run off into gutters or away from house.

Rake Drip Edge Flashing:

Install aluminum drip edge on all rake edges on top of underlayment to protect against wind driven rain.

ED
GE
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L
DE

TAIL:



ICE & WATER SHIELD:

Ice Dam Protection: (Eave or gutter edge)

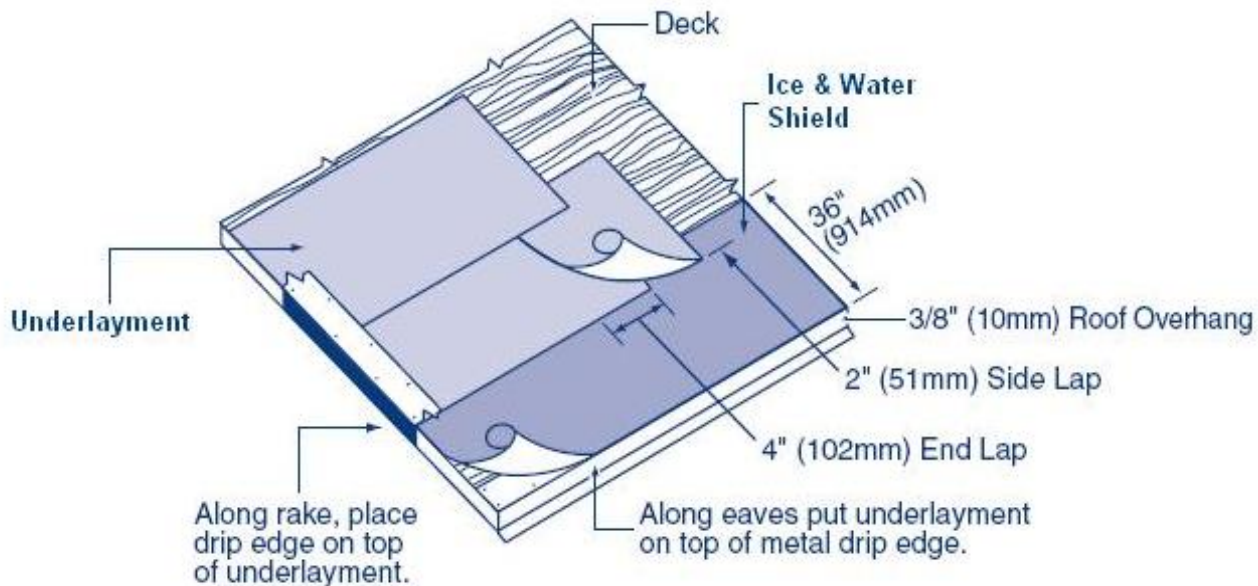
Apply Ice & Water Shield directly to the roof deck a minimum of (36") on all eave edges up the roof slope to a line not less than 12" beyond the warm interior wall.

Valley Protection:

Apply Ice & Water Shield directly to the roof deck in entire lengths of all valleys. (36")

Additional areas Ice & Water Shield is to be installed:

Ice & Water Shield is a composite material of asphalt and elastic polymers reinforced with a fiberglass membrane. It is formed into a rolled sheet. This material is designed to stop typical ice dam leaks that occur along the gutter or eave edge of the home. The rubberized asphalt "seals" around roofing nails so in the event ice dam water gets under the shingles it cannot follow the nails and cause leaks in the interior. It seals like a gasket around nails driven through it. This means *Ice & Water Shield* has the ability to stretch and cling - not rip when stressed.



- *Ice & Water Shield* is warranted to remain effective during the warranted lifetime of a new asphalt shingle system applied over it.
- *Ice & Water Shield* is a long lasting, waterproofing shingle underlayment designed to seal the roof and prevent water from getting inside the building.
- *Ice & Water Shield* protects your home from water backup caused by ice dams & wind-driven rain.

There will be no warranty under the terms and conditions of this contract if water, ice dams, or damage occur where Ice & Water Shield is required and not used.

SLATE INSTALLATION:

Install below selected roofing shingles as per the manufacturer's nailing and exposure specifications. All work to be installed by closely- supervised insured employees.

SLATES: _____ **COLOR:** _____

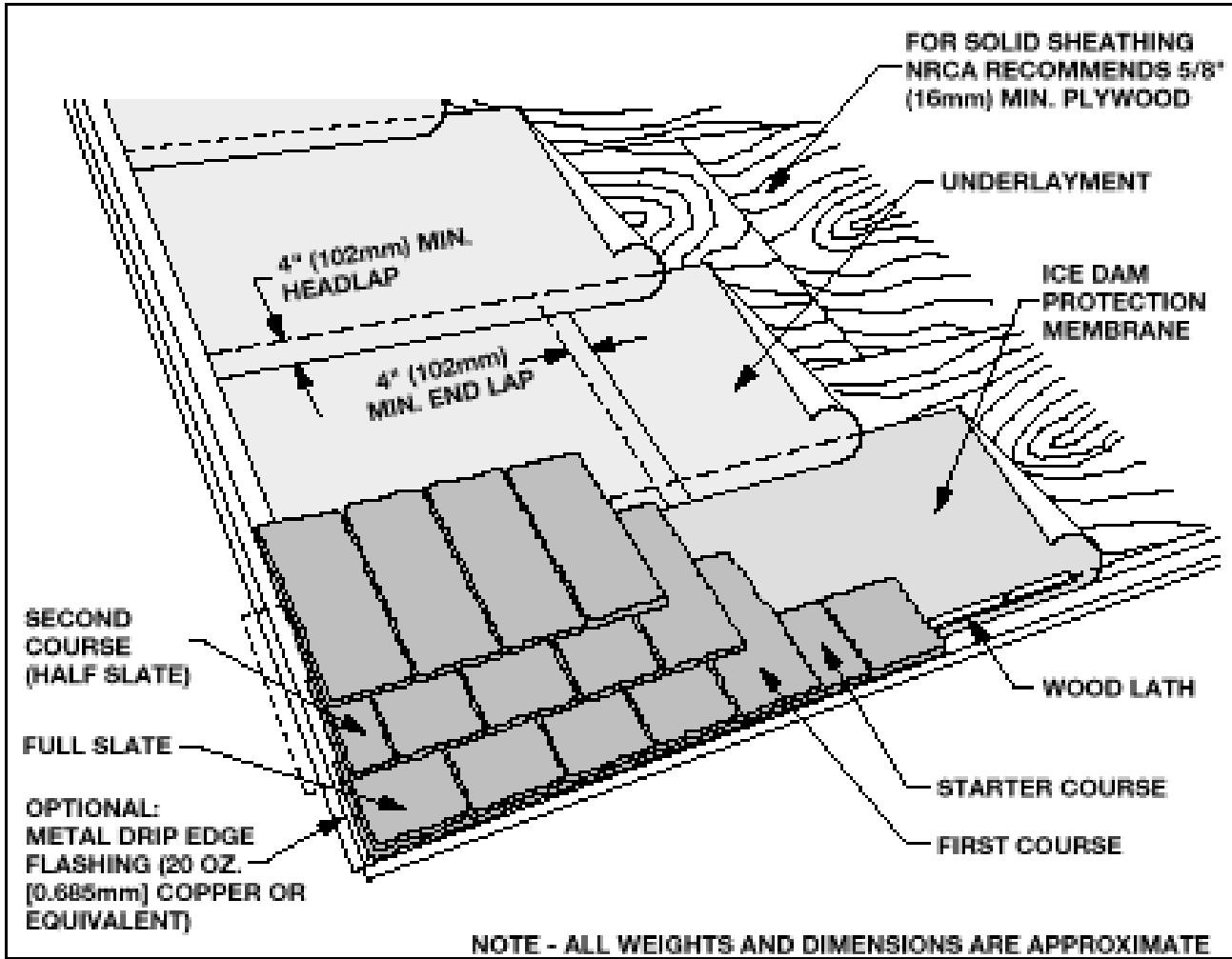


Figure 9 Example showing layout of ice dam protection membrane, 1 ply underlayment, and slate.

VALLEY FLASHING: (Water Shield)

The valley is exposed to maximum water erosion and foot traffic damage. For extra protection a double lining system is recommended. Install 36" wide ice & water shield centered in valley. Next install metal valley. Next install slates as shown below.

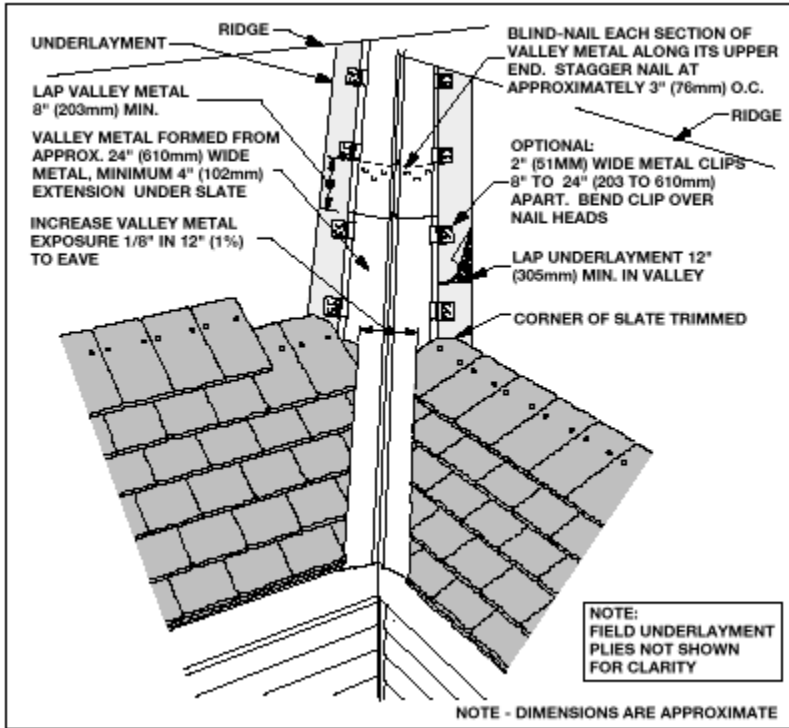
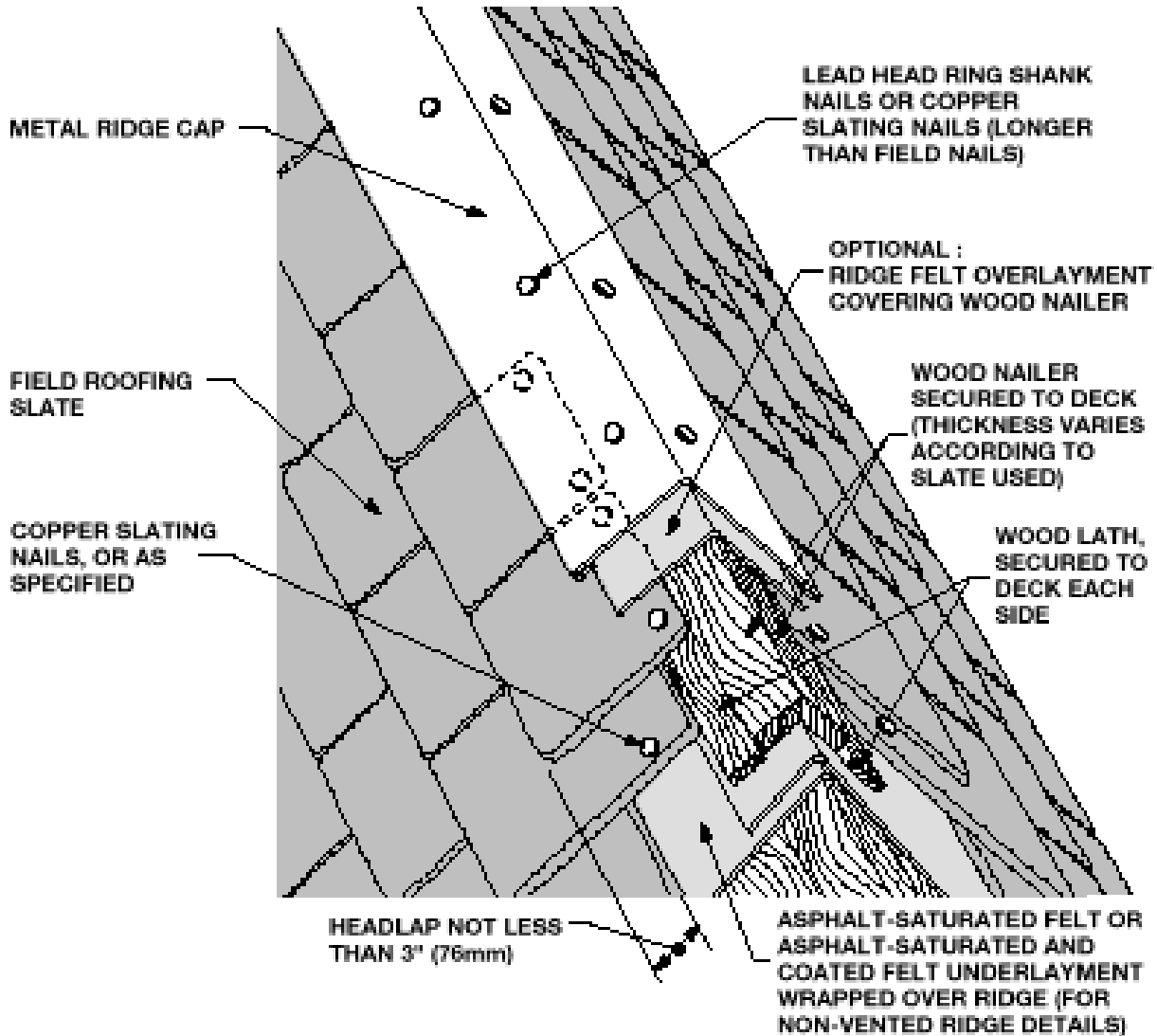


Figure 18 Typical open metal valley flashing.

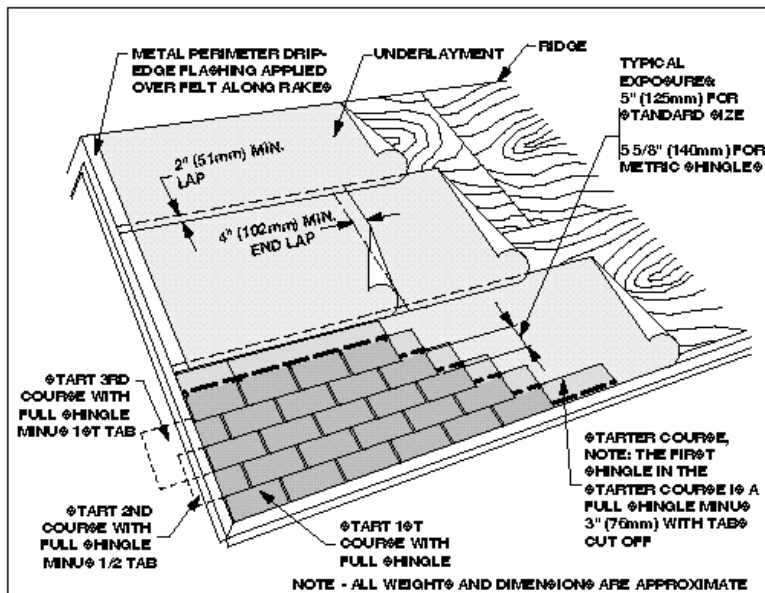
HIP AND RIDGE:

Courses of field slates are continued to a point near the ridge, but held back from the ridge apex to allow installation of wood lath and wood nailers. Wood lath is installed just down slope from the ridge. The lath acts as a spacer between the second to the last course of field slate and the wood nailer so the last course of the slate may be attached. But the nails do not have to penetrate the underlying slates. After both adjoining roof fields are roofed up to the wood nailer at the ridge, the ridge slates may be applied. A copper ridge cap is then applied.



SHINGLE INSTALLATION:

Installation of your selected roofing shingle will be as per the manufacturer's nailing and exposure specifications. All work to be installed by closely supervised insured employees.



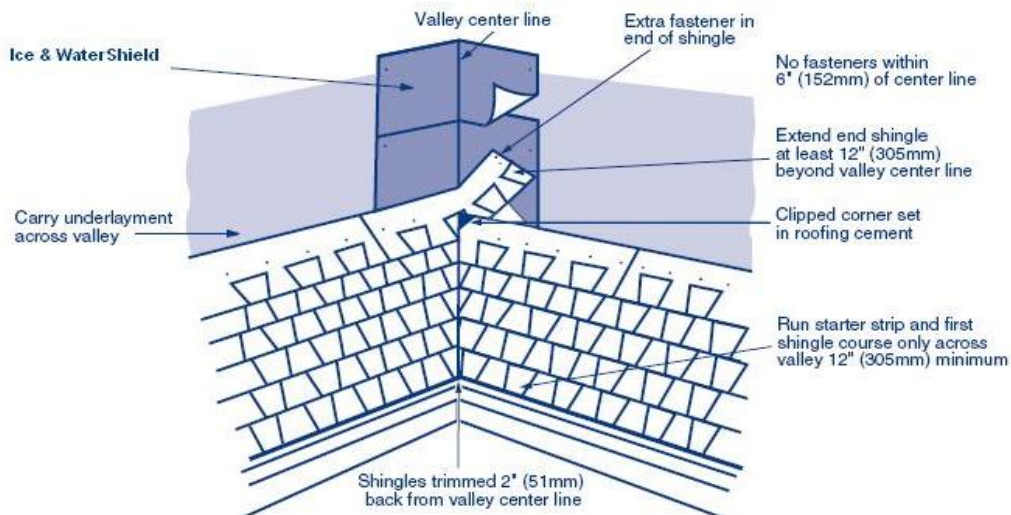
FASTENERS FOR ROOFING APPLICATION:

Nailing locations vary by shingle style and roof slope. It is critical to fasten the shingles in the proper locations in order to achieve designed performance. Improperly fastened shingles may blow off or slip out of place.

- Nails shall be barbed or rough shanked and must be corrosion resistant.
- Nails shall be a minimum of 11-gauge and nail head diameter shall be a minimum of 3/8".
- Nail shanks must be long enough to penetrate the roofing and then go 3/4' into solid wood, plywood or non-veneer wood decking, or through the thickness of the decking, which ever is less.
- **It is Maggio Roofing's policy not to STAPLE shingles to the roofing deck.**

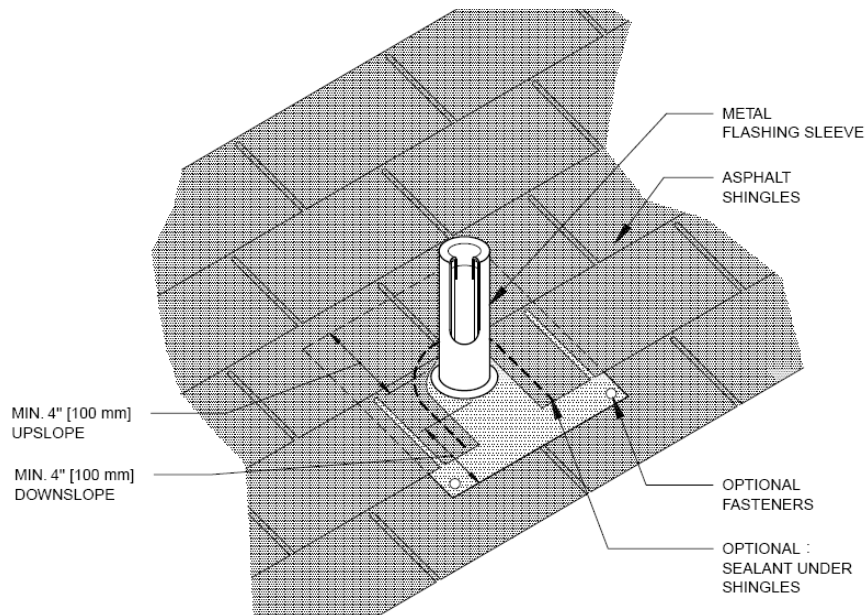
DOUBLE VALLEY FLASHING: (Water Shield)

The valley is exposed to maximum water erosion and foot traffic damage. For extra protection a double lining system is recommended. Install 36" wide ice & water shield centered in valley. Next install shingles in valley overlapping them as per a California style cut valley.



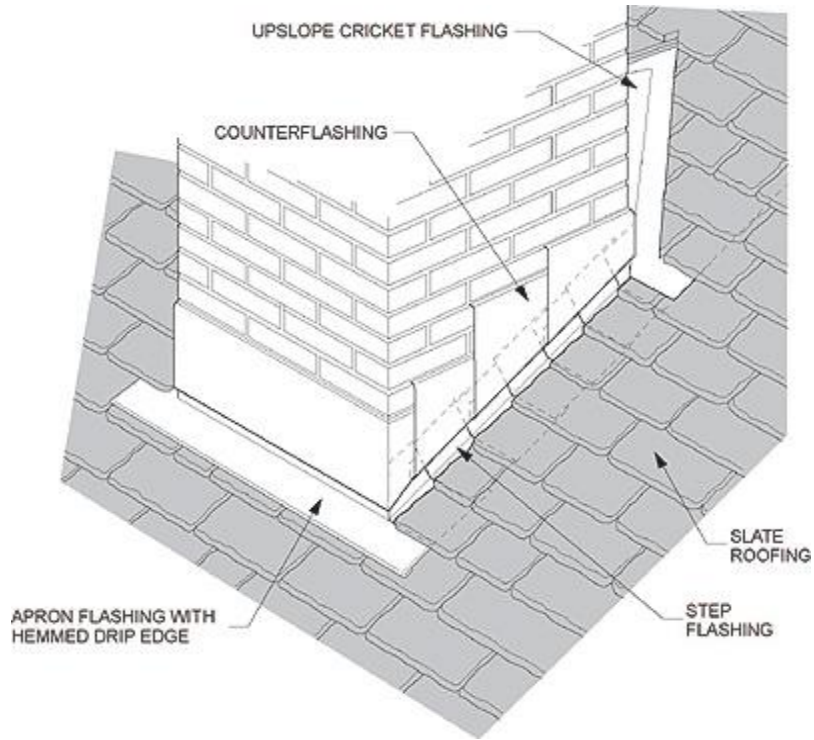
PIPE FLASHING:

Vent pipes penetrating a roof are subject to leakage due to movement; expansion and contraction. Roof cement or caulk at pipe penetrations does not qualify for the manufacturer's long-term warranty. This proposal includes installation of no-caulk pipe flashings, which is concurrent with the long-term shingle warranty.

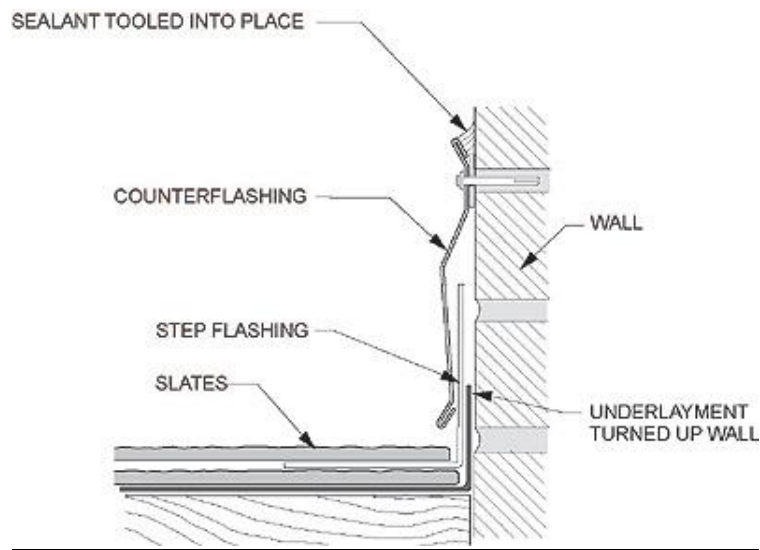


CHIMNEY FLASHING SYSTEM:

1. Remove existing chimney flashing materials.
2. Install step flashing to roof/chimney juncture.
3. Fabricate and install counter flashing to step flashing.



WALL FLASHING DETAIL:



VENTILATION:

As required by the International Residential Building Code, The National Roofing Contractors Association and all Shingle Manufacturers your roofing system will require the following ventilation:

- All insulated attic spaces shall be ventilated with openings to the exterior of not less than 1 square foot of ventilation for every 300 square feet of attic floor space. This must be balanced equally between the soffit and the ridge of your home.
- All ventilation shall be designed to prevent the entry of rain and snow and insects.

Ridge Vent: Install ___feet of Shingle Vent III/Cobra Ridge Vent for proper exhaust ventilation along the ridges as per diagram.
Install smart vent under shingle intake.

Good ventilation creates a cooler attic in the summer and a drier attic in the winter and it helps prevent ice dams. In a home with poor ventilation the heat in the attic may eventually reach 140 degrees on a 90-degree day. Also, an overheated attic, combined with moisture, can be damaging to the roof decking and roofing shingles, causing them to distort and deteriorate prematurely. In the winter, the moist warm air from the lower portions of your home rise through the ceiling area into the attic. In the cold attic the warm moist air condenses on the cold surface of the rafters, the nails and other metal, and the attic side of the roof deck.



An estimated 9 out of every 10 homes in North America have inadequate attic ventilation systems. Inadequate attic ventilation can often be attributed to homes having little or no intake ventilation. Failing to properly install intake ventilation can render your attic ventilation system virtually useless.

Efficient attic ventilation systems are similar to the human body. Intake ventilation provides the cool, fresh air into the system, similar to the body inhaling. Exhaust ventilation (commonly ridge vents) allows the moist warm air to exhaust from the system, similar to the body exhaling.

Cape Cod style homes with no soffits, mansard roofs, or even vented roof deck systems are extremely challenging to properly ventilate, especially intake ventilation. To make matters worse, homes with existing soffit or under-eave vents can have ineffective intake ventilation because their vents have become clogged with dirt or have been painted over

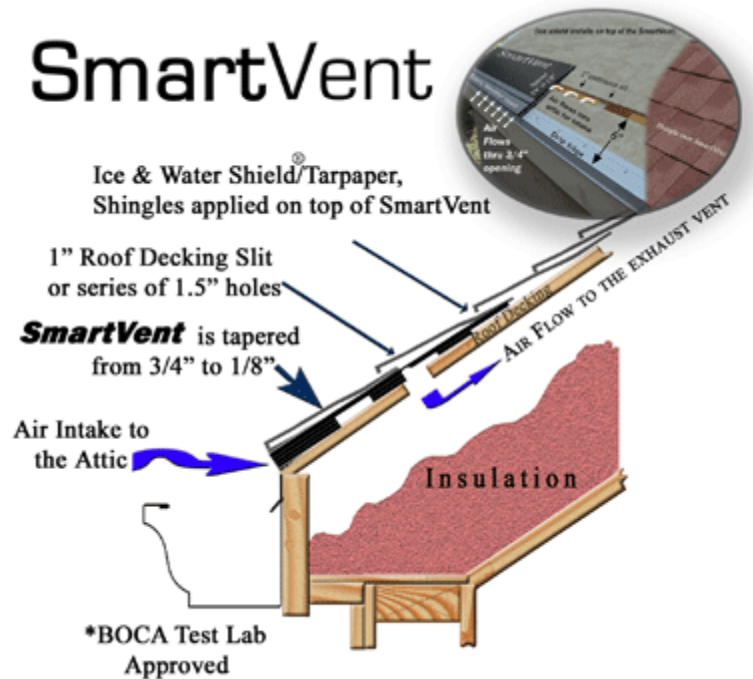


For maximum performance use with Cobra® Ridge Vents.

Cobra® FasciaFlow™ Premium Intake Ventilation Applications...



SmartVent is a tapered, under shingle plastic product designed for installation along the soffit edge of the roof or the facing edge of dormer rakes and goes virtually unnoticed. It allows air to flow freely through the 1" roof decking slit providing more than adequate soffit ventilation to maximize ridge vent effectiveness. This is extremely important since most ridge vent products require an equal amount of ventilation at the soffit in order to work properly. **SmartVent**, when used at both soffits, has a total NFA rating of 18 sq. in. (or 9 sq. in. on each side of a standard gable roof).



This moisture can create several problems:

- The condensation can swell the roof deck, causing waviness and buckling of both roof deck and shingles.
- This high level of condensing moisture may also promote a perfect mold-breeding environment – which leads to replacing the affected roof decking and correcting the ventilation problem.
- The water can rot the roof deck and decrease nail-holding capability.
- Severe condensation can drip onto the insulation, reducing its effectiveness and seep through the ceiling.
- Ice dams develop when warm air finds its way into the attic and gets trapped along the underside of the roof deck. The warm air then melts the snow above it and water runs down the slope towards the eaves. As the water trickles past the lower and unheated sections of the roof near the eaves, it freezes. This wall of ice continues to build forming an even-larger ice dam. The pond of water continues to get deeper and deeper until it backs up under the shingles, causing leaks and perhaps damage to the shingles and the roof deck. When the water gets below the deck, it can leak through the ceiling to cause all kinds of unsightly damage and even structural weakening to your home.

Good ventilation will move the hot air next to the roof deck out of the attic in the summer, and will dilute and remove the moist air in the winter before it causes damage. Also, proper ventilation and sufficient insulation helps keep a more uniform temperature on the underside of the roof deck in the winter, which eliminates ice dam formations.

All Shingle Manufacturers state that proper ventilation must be installed according to their minimum requirements or shingle warranties may be null and void.

SCOPE OF WORK – BUILDING 849 – 3223 Martha Custis Drive

BRAVA FLAT TILE STEEP ROOFING

Maggio Roofing's Scope of Work created in coordination and conjunction with Parkfairfax Roof Pilot Program Summary of Work SECTION 01 10 00

- ___ Tear off existing roof material (up to two layers) to the deck. More than two layers will result in additional charges
- ___ *Any replacement of rotted/damaged framing or finishing lumber will be written as a "Contract Addendum". These contract addendums will be priced based on the published price sheet and will be billed according to the job specifications of that contract.*
- ___ During Tear Off, Maggio will preserve and save as many roof tiles as possible to be set aside.
- ___ Re-nail any loose roof deck to the roof rafters
- ___ Provide and install 380_linear feet of new perimeter edge metal.
- ___ Provide and install BRAVA branded ice & water shield membrane to eaves.
- ___ Provide BRAVA brand stainless steel nails
- ___ Provide BRAVA system underlayment.
- ___ Provide and install 42 squares of new BRAVA Flat Tile with a 50-year warranty, according to manufacturer's specifications.
- ___ Provide and install BRAVA branded Hip & Ridge
- ___ Provide and install new "open" valley system.
- ___ Provide and install all new step, counter and apron flashing (copper).
- ___ Provide and replace final remaining copper vent stack (1)
- ___ Provide and install new pipe collars
- ___ Provide a 50 year manufactures warranty on roof system components
- ___ Provide a 10 year Maggio workmanship warranty
- ___ Remove and Reinstall existing gutter system, reseal and provide new hidden hangers
- ___ Clean up and haul off all roofing debris from property.
- ___ Protect landscaping as best as possible.

TOTAL: \$189,665.00

Roof Replacement Critical Path Schedule – Building 849 – 3223 Martha Custis Drive

Estimated Duration: Pre-Con Phase: 6-8 weeks; Install Phase: 2+ weeks (Mon – Fri)

1. Pre-Construction Phase

- Permit Acquisition – Confirm local regulations & approvals
- Material Ordering & Delivery – Ensure shingles, underlayment, flashing, etc., arrive on-site
- Site Prep & Safety Setup – Secure the perimeter, set up fall protection

2. Roof Tear-Off

- Remove old roofing material (shingles, underlayment, flashing)
- Inspect decking for rot, damage, or necessary repairs
- Clean and dispose of debris

Critical Path Task: Decking inspection—delays here affect the entire schedule

3. Roof Deck Repairs & Preparation

- Replace damaged plywood or sheathing
- Install ice & water shield and synthetic underlayment
- Install new drip edge along eaves

Critical Path Task: Deck repair must be complete before installing new materials

4. Roofing Installation

- Install starter shingles along the eaves
- Lay and secure new shingles in overlapping rows
- Install ridge vents and cap shingles

Critical Path Task: Shingle installation must be finished before flashing & final inspections

5. Flashing & Final Sealing

- Install or replace flashing
- Apply sealant where necessary
- Ensure all penetrations are properly waterproofed

6. Final Inspection & Cleanup

- Perform quality control inspection (internal & city/HOA if required)
- Clean up all debris, nails, and materials from the property
- Final walkthrough

-
- **Weather Delays may push tasks back**
 - **Any backordered material may impact start dates**
 - **Larger crew can shorten schedule**

SCOPE OF WORK – BUILDING 953 – 1500 Mt. Eagle Place

LUDOWICI AMERICANA 16” STEEP ROOFING

Maggio Roofing’s Scope of Work created in coordination and conjunction with Parkfairfax Roof Pilot Program Summary of Work SECTION 01 10 00

- ___ Tear off existing roof material (up to two layers) to the deck. More than two layers will result in additional charges
- ___ *Any replacement of rotted/damaged framing or finishing lumber will be written as a “Contract Addendum”. These contract addendums will be priced based on the published price sheet and will be billed according to the job specifications of that contract.*
- ___ During Tear Off, Maggio will preserve and save as many roof tiles as possible to be set aside.
- ___ Re-nail any loose roof deck to the roof rafters
- ___ Provide and install 480_linear feet of new perimeter edge metal.
- ___ Provide and install LUDOWICI branded (or manufacturer required) ice & water shield membrane to eaves.
- ___ Provide LUDOWICI branded (or manufacturer required) nails. Maggio Roofing will use (2) 1 3/4” copper ring shank nails / stainless steel to fasten tiles
- ___ Provide LUDOWICI branded (or manufacturer required) system underlayment.
- ___ Provide and install 48 squares of new LUDOWICI AMERICANA 16” (Early American Old Type Green Smooth Bark) with a 75-year warranty, according to manufacturer’s specifications.
- ___ Provide and install LUDOWICI branded (or manufacturer required) Hip & Ridge
- ___ Provide and install new “open” valley system.
- ___ Provide and install all new step, counter and apron flashing (copper).
- ___ Provide and replace copper vent stacks
- ___ Provide and install copper roof, base, and flashing to cupola
- ___ Provide and install new pipe collars
- ___ Provide a 50 year manufactures warranty on roof system components
- ___ Provide a 10 year Maggio workmanship warranty
- ___ Remove and Reinstall existing gutter system, reseal and provide new hidden hangers
- ___ Clean up and haul off all roofing debris from property.
- ___ Protect landscaping as best as possible.

TOTAL: 211,908.00

Roof Replacement Critical Path Schedule – Building 953 – 1500 Mt. Eagle Place

Estimated Duration: Pre-Con Phase: 12-18 weeks; Install Phase: approx. 3 weeks (Mon – Fri)

1. Pre-Construction Phase

- Permit Acquisition – Confirm local regulations & approvals
- Material Ordering & Delivery – Ensure shingles, underlayment, flashing, etc., arrive on-site
- Site Prep & Safety Setup – Secure the perimeter, set up fall protection

2. Roof Tear-Off

- Remove old roofing material (shingles, underlayment, flashing)
- Inspect decking for rot, damage, or necessary repairs
- Clean and dispose of debris

Critical Path Task: Decking inspection—delays here affect the entire schedule

3. Roof Deck Repairs & Preparation

- Replace damaged plywood or sheathing
- Install ice & water shield and synthetic underlayment
- Install new drip edge along eaves

Critical Path Task: Deck repair must be complete before installing new materials

4. Roofing Installation

- Install starter shingles along the eaves
- Lay and secure new shingles in overlapping rows
- Install ridge vents and cap shingles
- Install copper roof, base, and flashing to cupola

Critical Path Task: Shingle installation must be finished before flashing & final inspections

5. Flashing & Final Sealing

- Install or replace flashing
- Apply sealant where necessary
- Ensure all penetrations are properly waterproofed

6. Final Inspection & Cleanup

- Perform quality control inspection (internal & city/HOA if required)
- Clean up all debris, nails, and materials from the property
- Final walkthrough

-
- **Weather Delays may push tasks back**
 - **Any backordered material may impact start dates**
 - **Larger crew can shorten schedule**

ADD-ON OPTIONS

ADDITIONAL OPTIONS FOR BUILDING 849

- **Install Copper Drip Edge w/ copper nails in lieu of aluminum drip edge (380 linear ft)**

Additional Cost: \$4,921.00

- **Maggio to work w/ third party to provide scaffolding and overhead protection**

Additional Cost: \$19,800.00

ADDITIONAL OPTIONS FOR BUILDING 953

- **Install Copper Drip Edge w/ copper nails in lieu of aluminum drip edge (480 linear ft)**

Additional Cost: \$6,216.00

- **Maggio to work w/ third party to provide scaffolding and overhead protection**

Additional Cost: \$20,880.00



Prime Roofing & Exteriors
8121 Muirkirk Rd
Beltsville MD 20705
Phone: (301) 938-6872

Company Representative
Moris Gomez
Phone: (301) 938-6872
moris@primeroofingexteriors.com

Brava Roof Estimate

03/05/2025

Francisco Foschi
Park Fairfax Condominium Management
3360 Gunston Road
Alexandria, VA 22302
(571) 723-6991

Job: Francisco Foschi

Roofing Section

- Set up the job site to comply with OSHA safety standards and regulations before starting the tear-off of the old roofing materials.
- Remove old tiles from roof including old underlayment from entire roof on building #849 (3211 Martha Custis Dr)
- Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles.
- Inspect wood and advise owners of necessary repairs wood replacement is additional cost of \$8lf.
- Install new C 5 aluminum drip edge at eaves and rake edges. NOTE: (Can be swapped for alternate option)
- Install new ice and water shield at eaves, walls, valleys, vent pipes and penetrations.
- Wrap cast iron vent pipes with ice and water shield before installing the new 26g copper vent pipe flashing.
- Install new synthetic underlayment over remaining roof areas.
- Install new BBRAVA Flat composite roof tiles in accordance with manufacture's specifications.
- Use 4 nails per tile 1 3/4" stainless steel ring shank nails.
- Install new hip & ridge.
- Replace copper at cupula.

- Provide 10 years workmanship warranty.
- Crews will maintain safety requirement at all times during install process.

\$76,370.00

Copper Drip Edge (Alternate Option)

- Install copper drip edge instead of aluminum drip edge

\$5,064.00

Scaffolding (Alternate Option)

- Set up scaffolding around entire building.

\$46,000.00

Work Scope/ Plan (without Scaffolding)

Project Overview:

- Use fall protection (full body harnesses, anchor points.
- Prior to tear off we will take these precautions to protect tenants , plants and entire building from falling debris.
- Build custom entrance overhead entryway tunnels at each entryway approximately 4' wide by 16' long using 2x4's and plywood.
- Set up roof jacks and 2x10 toe boards along the roof edge near the gutter lines to protect from falling debris.
- Use cages as necessary to protect all shrubs and bushes.
- Set up tarps from the gutter line down to the ground during tear off process to ensure further protection to the building from falling debris.
- We will have safety monitor at the entrances of the building directing the crew, alerting them of tenants leaving and entering the building to further ensure the protection of tenants from falling hazards.
- Maintain a clean and hazard free worksite throughout the project.
- We will bring old tiles from the roof down to the ground using lift or scissor lift where access is possible or by hand where there is no access to fit a lift.

\$0.00

TOTAL

\$127,434.00

.....
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Company Authorized Signature

Date

Customer Signature

Date

Customer Signature

Date



Francisco Foschi

Park Fairfax Condominium management

Job Address: 3360 Gunston Road

Alexandria, Va 22302

(571) 723-6991

Brava Roof schedule Plan

We estimate that it will take us 13 days from start to finish to install the Brava roof system. This timeline accounts for all necessary steps including preparation and installation. The estimated 13 days does not factor in weather delays.

Note: To take precaution against bad weather, we will not remove all of the old roof at once. we will be removing only what can be re-installed per day to ensure protection from the elements.

Day 1: We will set up the job site to comply with OSHA safety standards and regulations before starting the tear-off of the old roofing materials. Prior to tear off we will take these precautions to protect tenants, plants and entire building from falling debris. We will build custom entrance overhead entryway tunnels at each entryway approximately 4' wide by 16' long using 2x4's and plywood. Set up roof jacks and 2x10 toe boards along the roof edge near the gutter lines to protect from falling debris, and use cages as necessary to protect all shrubs and bushes.

Day 2: Commence removal of old tiles on a partial section of roof including old underlayment from entire roof on building #849 (3211 Martha Custis Dr). Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 3: Commence installation of Brava Flat tiles on section that was prepped the day before. Complete installation of Brava Flat tiles on partial section of the roof.

Day 4: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 5: Commence installation of Brava Flat tiles on section that was prepped the day before. Complete installation of Brava Flat tiles on partial section of the roof.

Day 7: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 8: Commence installation of Brava Flat tiles on section that was prepped the day before. Complete installation of Brava Flat tiles on partial section of the roof.

Day 9: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 10: Commence installation of Brava Flat tiles on section that was prepped the day before. Complete installation of Brava Flat tiles on partial section of the roof.

Day 11: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 12: Commence installation of Brava Flat tiles on section that was prepped the day before. Complete installation of Brava Flat tiles on partial section of the roof.

Day 13: Finish up installing all of the Brava roof tile system. Haul away all work-related trash and debris, remove and take all tools away. Ensure the roof is completely finish and finalize the project.



Prime Roofing & Exteriors
8121 Muirkirk Rd
Beltsville MD 20705
Phone: (301) 938-6872

Company Representative
Moris Gomez
Phone: (301) 938-6872
moris@primeroofingexteriors.com

Ludowici Roof Estimate

03/05/2025

Francisco Foschi
Park Fairfax Condominium Management
3360 Gunston Road
Alexandria, VA 22302
(571) 723-6991

Job: Francisco Foschi

Roofing Section

- Set up the job site to comply with OSHA safety standards and regulations before starting the tear-off of the old roofing materials.
- Remove old tiles from roof including old underlayment from entire roof on building #953 (1500 Mt Eagle Pl)
- Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles.
- Inspect wood and advise owners of necessary repairs wood replacement is additional cost of \$8lf.
- Install new C 5 aluminum drip edge at eaves and rake edges. NOTE: (Can be swapped for alternate option)
- Install new ice and water shield at eaves, walls, valleys, vent pipes and penetrations.
- Wrap cast iron vent pipes with ice and water shield before installing the new 26g copper vent pipe flashing.
- Install new synthetic underlayment over remaining roof areas.
- Install new LUDOWICI roof tiles in accordance with manufacture's specifications.
- Use 2 nails per tile 1 3/4" copper nails.
- Install new hip & ridge.
- Replace copper at cupula.

- Provide 10 years workmanship warranty.
- Crews will maintain safety requirement at all times during install process.

\$92,770.00

Copper Drip Edge (Alternate Option)

- Install copper drip edge instead of aluminum drip edge

\$5,064.00

Scaffolding (Alternate Option)

- Set up scaffolding around entire building.

\$46,000.00

Work Scope/ Plan (without Scaffolding)

Project Overview:

- Use fall protection (full body harnesses, anchor points.
- Prior to tear off we will take these precautions to protect tenants , plants and entire building from falling debris.
- Build custom entrance overhead entryway tunnels at each entryway approximately 4' wide by 16' long using 2x4's and plywood.
- Set up roof jacks and 2x10 toe boards along the roof edge near the gutter lines to protect from falling debris.
- Use cages as necessary to protect all shrubs and bushes.
- Set up tarps from the gutter line down to the ground during tear off process to ensure further protection to the building from falling debris.
- We will have safety monitor at the entrances of the building directing the crew, alerting them of tenants leaving and entering the building to further ensure the protection of tenants from falling hazards.
- Maintain a clean and hazard free worksite throughout the project.
- We will bring old tiles from the roof down to the ground using lift or scissor lift where access is possible or by hand where there is no access to fit a lift.

\$0.00

TOTAL

\$143,834.00

.....
.....

Company Authorized Signature

Date

Customer Signature

Date

Customer Signature

Date



Francisco Foschi

Park Fairfax Condominium management

Job Address: 3360 Gunston Road

Alexandria, Va 22302

(571) 723-6991

Ludowici Roof schedule Plan

We estimate that it will take us 17 days from start to finish to install the Ludowici roof system. This timeline accounts for all necessary steps including preparation and installation. The estimated 17 days does not factor in weather delays.

Note: To take precaution against bad weather, we will not remove all of the old roof at once. we will be removing only what can be re-installed per day to ensure protection from the elements.

Day 1: We will set up the job site to comply with OSHA safety standards and regulations before starting the tear-off of the old roofing materials. Prior to tear off we will take these precautions to protect tenants, plants and entire building from falling debris. We will build custom entrance overhead entryway tunnels at each entryway approximately 4' wide by 16' long using 2x4's and plywood. Set up roof jacks and 2x10 toe boards along the roof edge near the gutter lines to protect from falling debris, and use cages as necessary to protect all shrubs and bushes.

Day 2: Commence removal of old tiles on a partial section of roof including old underlayment from entire roof on building #953 (1500 Mt Eagle Pl). Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 3: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 4: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 5: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 7: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 8: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 9: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 10: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 11: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 12: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 13: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 14: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 15: Remove old tiles on a partial section of roof including old underlayment from entire roof. Set the tiles aside for others to pick up and dispose of the old underlayment and broken tiles. Prepare the roof for tiles by installing underlayment's.

Day 16: Commence installation of Ludowici tiles on section that was prepped the day before. Complete installation of Ludowici roof tiles on partial section of the roof.

Day 17: Finish up installing all of the Ludowici roof system. Haul away all work-related trash and debris, remove and take all tools away. Ensure the roof is completely finish and finalize the project.



MHIC#130978

DC# 410523000136

8121 Muirkirk Rd Beltsville MD 20705

Office: 301-593-1933

Cell: 301- 938-6872

Professional Summary

Experienced and licensed roofing contractor with 30+ years in the industry, specializing in commercial and residential roofing solutions. Proven track record of delivering high-quality installations, repairs, and maintenance for homeowners, businesses, property managers, and developers. Dedicated to safety, efficiency, and long-term roofing performance.

- Commercial roofing installation & repair
- Natural slate, synthetic slate, Cedar shakes
- Flat roofs (TPO, EPDM, PVC, modified bitumen)
- Metal roofing systems
- Roof inspections & maintenance programs
- OSHA & industry compliance
- Project management & scheduling



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
03/07/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER GREATER WASHINGTON FINANCIAL GROUP 7203 POPLAR ST ANNANDALE VA 22003	CONTACT NAME: Greater Washington Financial Group
	PHONE (A/C, No. Ext): 703-941-8700 FAX (A/C, No): 703-941-8701
E-MAIL ADDRESS: wiacommercial@gmail.com	
INSURER(S) AFFORDING COVERAGE	
INSURER A: FREDERICK MUTUAL INSURANCE COMPANY	
INSURER B: AIC	
INSURER C: LIBERTY MUTUAL INSURANCE COMPANY	
INSURER D:	
INSURER E:	
INSURER F:	

COVERAGES **CERTIFICATE NUMBER: 70079** **REVISION NUMBER:1** **SUPERCEDES PREVIOUS REVISIONS**

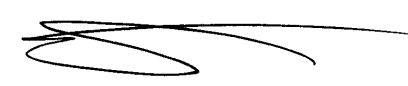
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSRD	SUBR WVD	POLICY NUMBER	POLICY EFF DATE (MM/DD/YY)	POLICY EXP DATE (MM/DD/YY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			BP21810694	06/08/24	06/08/25	EACH OCCURRENCE \$ 1,000,000	
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000	
	GEN'L AGGREGATE LIMIT APPLIES PER:							MED EXP (Any one person) \$ 5,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						PERSONAL & ADV INJURY \$ 1,000,000	
	OTHER:						GENERAL AGGREGATE \$ 2,000,000	
							PRODUCTS-COMP/OP AGG \$ 2,000,000	
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY			CA 0043345	11/06/24	11/06/25	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000	
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$	
	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident) \$	
	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/> NON-OWNED AUTOS ONLY					PROPERTY DAMAGE (Per accident) \$	
							\$	
	<input type="checkbox"/> UMBRELLA LIAB						EACH OCCURRENCE \$	
	<input type="checkbox"/> EXCESS LIAB						AGGREGATE \$	
	<input type="checkbox"/> DED						\$	
	<input type="checkbox"/> RETENTION \$						\$	
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			XWS(25)58877382	06/08/24	06/08/25	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N	N/A				E.L. EACH ACCIDENT \$ 1,000,000	
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE-EA EMPLOYEE \$ 1,000,000	
							E.L. DISEASE-POLICY LIMIT \$ 1,000,000	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
PARK FAIRFAX CONDOMINIUMS IS LISTED AS ADDITIONAL INSURED.

CERTIFICATE HOLDER

CANCELLATION

PARK FAIRFAX CONDOMINIUMS 3360 GUNSTON RD. ALEXANDRIA, VA 22302	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
Attention:	 SUK KU LIM Lic #

COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation
9960 Mayland Drive, Suite 400, Richmond, VA 23233
Telephone: (804) 367-8500

EXPIRES ON
05-31-2026

NUMBER
2705153939



BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS CBC ELE HVA RBC

UNISOURCE SERVICES LLC
11907 MID COUNTY DRIVE
MONROVIA, MD 21770



Lee S. Selt
BOARD OF PROFESSIONAL CONTRACTORS

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)



COMMONWEALTH of VIRGINIA
Department of Professional and Occupational Regulation
CLASS A BOARD FOR CONTRACTORS
CONTRACTOR

CLASSIFICATIONS CBC ELE HVA RBC
NUMBER: 2705153939 EXPIRES: 05-31

UNISOURCE SERVICES LLC
11907 MID COUNTY DRIVE
MONROVIA, MD 21770



(FOLD)

Status can be verified at <http://www.dpor.virginia.gov>

DPOR-LIC (02/2017)

(DETACH HERE)

DPOR-PC (02/2017)



Park Fairfax

March 7, 2025

Attn: Francisco Foschi – foschi@parkfairfax.org Lolita Clark – lclark@parkfairfax.org
Re: Roof Replacement at buildings 849 & 953
File: 52738

Scope of Work – Roof replacement Building 849 – 3223 Martha Custis Drive:

1. Mobilize and set up safety protection in accordance with OSHA guidelines.
2. Remove existing layers of roofing, underlayment, and associated flashings down to wood decking.
3. Inspect the sheathing and replace where deteriorated on a time and materials basis.
4. Install ice and water shield self-adhering underlayment at eaves, valleys, and perimeter of all roof penetrations.
5. Install synthetic felt over the remainder of the roof.
6. Install new custom fabricated copper vent pipe collars (reuse collars that have been replaced).
7. Install new white pre-finished aluminum metal to eaves and rakes.
8. Fabricate and install new 16 oz. copper flashings at masonry chimneys and rising walls (base, apron, and counter flashings), counter flashing will be cut into the mortar reglet and sealed with caulk. Any siding work will be completed on a time and materials basis.
9. Fabricate and install new 16 oz. copper valleys, cleated in place.
10. Install Brava synthetic tile roofing, installed per the manufacturers' specifications. Color matched flat tile and preselected by owner on coordination with Brava.
11. De-mobilize and remove all debris associated with above scope.

Furnish all labor and materials necessary to complete above scope:

\$ 92,860.00

Options:

To install (2) staggered rows of pad-style snow guards at the eave, add: \$ 4,726.00
To install scaffolding at the eave and overhead protection at access doors, add: \$ 45,910.00
To install 16 oz. copper eave and rake metal in lieu of aluminum, add: \$ 2,808.00

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National Roofing Contractors Association • Mid-Atlantic Roofing Contractors Association • Associated Builders & Contractors Building Congress & Exchange • Better Business Bureau (A+) • Homebuilders Association



Scope of Work – Roof replacement Building 953 – 1500 Mount Eagle Place:

1. Mobilize and set up safety protection in accordance with OSHA guidelines.
2. Remove existing layers of roofing, underlayment, and associated flashings down to wood decking.
3. Inspect the sheathing and replace where deteriorated on a time and materials basis.
4. Install ice and water shield self-adhering underlayment at eaves, valleys, and perimeter of all roof penetrations.
5. Install synthetic felt over the remainder of the roof.
6. Install new custom fabricated copper vent pipe collars (reuse collars that have been replaced).
7. Install new white pre-finished aluminum metal to eaves and rakes.
8. Fabricate and install new 16 oz. copper flashings at masonry chimneys and rising walls (base, apron, and counter flashings), counter flashing will be cut into the mortar reglet and sealed with caulk. Any siding work will be completed on a time and materials basis.
9. Fabricate and install new 16 oz. copper valleys, cleated in place.
10. Install Ludowici Americana 16" interlocking tile roofing, installed per the manufacturers' specifications.
Color: Forest Green Glaze Texture: lightly pressed bark
11. De-mobilize and remove all debris associated with above scope.

Furnish all labor and materials necessary to complete above scope:

\$ 168,689.00

Options:

To install (2) staggered rows of snow guards at the eave, add:	\$ 8,823.00
To install scaffolding at the eave and overhead protection at access doors, add:	\$ 45,910.00
To install 16 oz. copper eave and rake metal in lieu of aluminum, add:	\$ 2,808.00
To replace the trim and install copper roof to cupola, add:	\$ 15,125.00

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National Roofing Contractors Association • Mid-Atlantic Roofing Contractors Association • Associated Builders & Contractors Building Congress & Exchange • Better Business Bureau (A+) • Homebuilders Association



General Notes:

- Proposal valid for 30 days.
- Project duration: see construction schedule below.
- Warranty: 5-year workmanship
- All debris associated with the above scope will be removed from the premises.
- Terms: 1/3 deposit upon loading materials, monthly progress payments, and balance due upon completion.
- Exclusions: bonds, permits, building 952 copper base at cupola, sheds/outbuildings, flat roofs, carpentry, siding, soffit, electrical, masonry, plumbing, interior protection and clean up, Class A installation, gutters, spouts, additional insurance outside of Ruff Roofers standard certificate, color matching of any existing materials whether repair or replacement, substrate meeting manufacturer's requirements, damages to unknown or embedded utilities within the roof system or under (interior) the substrate, anything not specifically mentioned in the above scope.

Construction Schedule		
	Building 849	Building 953
Day 1	Mobilization	Mobilization
Day 2	Safety	Safety
Day 3	Demo / Dry In	Demo / Dry In
Day 4		
Day 5	Install Metal	Install Metal
Day 6		
Day 7	Install Brava	Install Ludowici
Day 8		
Day 9		
Day 10		
Day 11		
Day 12		
Day 13		
Day 14		
Day 15		
Day 16		
Day 17	Punch Out	Punch Out
Day 18	De-mobilization	
Day 19		
Day 20		
Day 21		
Day 22		
Day 23		
Day 24		

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Baltimore (410) 242-2400
Washington D.C. (202) 298-ROOF

Annapolis (410) 267-ROOF
Virginia (703) 276-ROOF

Rooftop Equipment

We always recommend that the owner disconnect and remove the equipment from the roof area prior to our work and then re-install after our work. Furthermore, we realize dis-connect and subsequent re-connect processes maybe cost prohibitive and if left in place, we will take caution when working around equipment. We cannot make any claim to any re-calibration charges, damages, or functionality of any rooftop items before, during, or after our work if the equipment is left in place.

Masonry & Siding

Masonry and siding deficiencies are a common source of water intrusion and we do not make any claim to the condition of these unless specifically noted. We will remove and re-install siding as best as possible as needed to install new flashings. We will take special care of the existing siding, but we cannot claim any liability of the siding from damage as resulting from our work. If we cannot perform this without damaging the siding and the flashings are in good shape, we reserve the right to re-use or re-cover the existing flashings (any of which will still be covered under our workmanship warranty).

Drainage

Drainage components (drains/gutters/gutter guards/ conductor heads/downspouts) are excluded from our work unless specified otherwise. We also do not make any claim to the function or condition of these items before, during, or after our work if they are not replaced within our contract.

Exterior & Interior Protection

Please remove all items away from the perimeter of the jobsite during the roofing process along with any window screens. We claim no liability for any damage to any of these items as a result of our work if the owner does not remove them. Roofing work may cause disruptions and debris in both the attic and interior of the home. We recommend that the owner protect the interior (attics, below skylights, etc.) from dust and debris that may filter in during any roofing work. Further, we recommend that any fragile wall fixtures (lights, pictures, etc.) be temporarily removed prior to roofing work. We also do not make any claim to liability before, during, or after our work as relating to interior wall substrates (plaster, dry-wall, etc.) or any nail-pops that may arise as a result of roof work.

Unforeseen Conditions

Unless otherwise noted, all pricing is valid for 30 days from the date of this contract due to volatility of material costs. We reserve the right to modify pricing based on circumstances out of our control (availability of materials, imposed tariffs, worker strikes, pandemic delays, etc). During our work, there are instances that may involve the discovery of additional work needed to complete the system in a professional manner. When we discover these situations, we will notify the owner immediately. If the owner is unavailable, we will continue with this additional work at a rate of \$95 per man per hour + materials as needed to achieve a watertight assembly, and documentation, including pictures, will be provide to the owner upon completion. Examples of these situations may include deteriorated decking, framing, masonry, etc. Ruff Roofers reserves the right to replace with substrates/decking with suitable alternatives, as the Foreman deems necessary. If the above referenced unit costs require equipment or scaffolding to complete, an additional charge will apply.

Media Release

Client will allow a temporary yard sign to be placed for advertising during the project. Client acknowledges and allows Ruff to use photos obtained from the project for us in online and print marketing and media (all client names withheld for privacy).

Mold

No work performed by Ruff Roofers Inc. shall render liability in any respect for any damage to the home or building, or interruption of any use of living or business conducted in the home or building arising as a result of mold, mildew, or other issues involving air quality. The Owner should inspect periodically for signs of leakage. We are not responsible for indoor air quality including growth of mold or other organisms. The Owner shall hold harmless and indemnify us from all claims, including claims of tenants and occupants, arising from indoor air quality for any reason whatsoever, including claims resulting from a failure by the Owner to maintain the interior and exterior off the building in a manner to avoid growth of mold.

We assume no liability for any damage to said work caused by lightning, gale, hurricane, hailstorm or other unusual phenomena of the elements, or fire or other casualties, not for any damage to said work due to settlement, distortion, failure or cracking of the roof, decks, walls, or foundations of said building. This agreement contains all understandings of the parties. No oral representations by either party or changes to this agreement are binding unless reduced to writing and signed by both parties. Full payment for service is due when service above is completed. Payments made after 30 days from such completion are subject to interest at the rate of 1.5% per month, compounded monthly. Should collection efforts be required to obtain full payment, the customer agrees to pay the reasonable cost of attorney's fees and court costs necessary for such collection. All roofing quotes are based upon adequate sheathing, if deteriorated or skip sheathing exists, an additional charge will apply.

Licenses: MD MHIC: 1326 / 89295 / 133543. VA Class A: 2705117666 DC: 410511004045 PA: PA160964 DE: 2010103337 FL: CCC1327463

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We thank you for the opportunity to allow Ruff Roofers and its 86 years of experience to quote you on this project. Should you have any questions, please do not hesitate to contact me at 443-895-0049. We look forward to hearing from you.

Proposal Agreed & Accepted,

Sign: _____

Print: _____

Title: _____

Date: _____

Color: _____ Brava

Total: _____

Respectfully Submitted,

Derek P. Black

Derek P. Black

Estimator

derek@ruffroofers.com

443-895-0049

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COMMONWEALTH of VIRGINIA

Department of Professional and Occupational Regulation
9960 Mayland Drive, Suite 400, Richmond, VA 23233

Telephone: (804) 367-8500

EXPIRES ON
10-31-2025

NUMBER
2705117666

BOARD FOR CONTRACTORS
CLASS A CONTRACTOR
CLASSIFICATIONS CIC HIC



RUFF ROOFERS INC
1420 KNECHT AVE
BALTIMORE, MD 21227



Katherine S. Thoma
Katherine S. Thoma, Director

Status can be verified at <http://www.dpor.virginia.gov>

(SEE REVERSE SIDE FOR PRIVILEGES AND INSTRUCTIONS)

DPOR-LIC (02/2017)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/30/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER HMS Insurance Associates, Inc. 20 Wight Ave Suite 300 Hunt Valley MD 21030	CONTACT NAME: Erica Grelli PHONE (A/C No. Ext): 4436323346 E-MAIL ADDRESS: erica.grelli@marshmma.com		FAX (A/C, No): 4436323498
	INSURER(S) AFFORDING COVERAGE		
INSURED Ruff Roofers, LLC; Two R Asset Holdings, LLC Ruff Roofing and Sheet Metal, LLC 1420 Knecht Avenue Baltimore MD 21227	RUFFROO-01	INSURER A: American Casualty Company INSURER B: Continental Insurance Company INSURER C: Valley Forge Insurance Co INSURER D: National Fire Insurance Co INSURER E: Colony Insurance Company INSURER F:	NAIC # 20427 35289 20508 39993

COVERAGES

CERTIFICATE NUMBER: 311208330

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
D	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			7063586313	5/1/2024	5/1/2025	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
							MED EXP (Any one person)	\$ 15,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
D	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			7063586327	5/1/2024	5/1/2025	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			6056714953	5/1/2024	5/1/2025	EACH OCCURRENCE	\$ 10,000,000
							AGGREGATE	\$ 10,000,000
								\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	7063586294	5/1/2024	5/1/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
							E.L. EACH ACCIDENT	\$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
C E	Leased/Rented Equipment Pollution/Professional			6056966007 CPLUS307785	5/1/2024 5/1/2024	5/1/2025 5/1/2025	Leased/Rented Equip Aggregate	\$625,000 \$3,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Insurance Verification

CERTIFICATE HOLDER**CANCELLATION**

Insurance Verification

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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